



City of San Marcos

Regular Meeting Historic Preservation Commission May 4, 2023, 6:00 PM City Hall, Council Chambers 630 East Hopkins Street

The Commission member presiding over the meeting will be present at this location.

Due to COVID-19, this will be a hybrid (in-person/virtual) meeting. For more information on how to observe the virtual meeting, please visit:

<https://sanmarcostx.gov/2861/Historic-Preservation-Commission-VideosA>

The Historic Preservation Commission may adjourn into executive session to consider any item on the agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made on the basis for the Executive Session discussion. The Historic Preservation Commission may also publicly discuss any item listed on this agenda for Executive Session.

I. Call To Order

II. Roll Call

- III. Citizen Comment Period:** *Persons wishing to participate (speak) during the citizen comment period must submit their written comments to hpcommission@sanmarcostx.gov no later than **12:00 p.m. (noon)** on the day of the meeting. A call-in number to join by phone or link will be provided for participation on a mobile device, laptop or desktop computer. Comments shall have a time limit of three minutes each. Please indicate if you would like to speak in person.*

ELECTION OF THE FOLLOWING OFFICERS:

1. Historic Preservation Commission Chairperson
2. Historic Preservation Commission Vice Chairperson

MINUTES

3. Consider approval, by motion, of the April 6, 2023 regular meeting minutes.

ACTION ITEM

4. **HPC-23-06 (804 Burleson Street)** Consider a request for a Certificate of Appropriateness by Kristy Money to allow the construction of a new, detached, two-story,

three-car garage, which will include a 1,000 square foot Accessory Dwelling Unit (ADU) on the second floor.

PUBLIC HEARINGS

*Written comments or requests to join in a public hearing must be sent to hpccommission@sanmarcostx.gov the day prior to the meeting and no later than **12:00 p.m. (noon)** on the day of the hearing. A call-in number to join by phone or link will be provided for participation on a mobile device, laptop or desktop computer. Comments shall have a time limit of three minutes each. Any additional information regarding this virtual meeting may be found at the following link: <https://sanmarcostx.gov/2861/Historic-Preservation-Commission-VideosA>. Please indicate if you would like to speak in person.*

- 5. HPC-23-08 (728 Viola Street)** Hold a public hearing and consider a request for a Certificate of Appropriateness by Daniel Garcia to allow the renovation of the existing detached garage at the rear of the property which will alter the pitch of the structure's roof.
- 6. HPC-23-09 (804 Burleson Street)** Hold a public hearing and consider a request for a Certificate of Appropriateness by Kristy Money to allow the removal of the wrought iron Juliette balcony on the second story of the front façade and to allow the installation of a new window awning over the sunroom window, located at the southeast corner of the front façade on the first story of the home.
- 7. HPC-23-10 (802 West San Antonio Street)** Hold a public hearing and consider a request for a Certificate of Appropriateness by Mike Wills, on behalf of Stephanie Rubiano Shropshire, to allow a change in the approved design of a new, detached 712 square foot single-story workshop/art studio to be located behind the existing detached garage in the rear yard of the property which would allow vinyl windows to be installed rather than custom-built wood windows, and allow a wrought iron fence to be installed along the side and rear property lines.

UPDATES

- 8. Updates on the following:**
 - a. HPC Committee Reports Concerning Recent Activities
 - b. Grant Opportunities and Updates
 - c. Dunbar School Home Economics Building Restoration Progress
 - d. Historic Preservation Plan Update
 - e. Upcoming Events and Training Opportunities

DISCUSSION ITEMS

- 9. Discussion regarding a future meeting to cover the potential process to rename local historic landmarks and provide feedback to staff.**

IV. FUTURE AGENDA ITEMS

Board Members may provide requests for discussion items for a future agenda in accordance with the board's approved bylaws. *(No further discussion will be held related to topics proposed until they are posted on a future agenda in accordance with the Texas Open Meetings Act.)*

V. QUESTION AND ANSWER SESSION WITH PRESS AND PUBLIC

This is an opportunity for the Press and Public to ask questions related to items on this agenda. Persons wishing to participate remotely in the Q&A session must email hpccommission@sanmarcostx.gov beginning the day prior to the meeting and before 12:00PM the day of the meeting. A call-in number to join by phone or link will be provided for participation on a mobile device, laptop or desktop computer. If attending in person, no sign up is required.

VI. ADJOURNMENT

Notice of Assistance at the Public Meetings

The City of San Marcos is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. If requiring Sign Language Interpreters or alternative formats, please give notice at least 2 days (48 hours) before the meeting date. Individuals who require auxiliary aids and services for this meeting should contact the City of San Marcos ADA Coordinator at 512-393-8000 (voice) or call Texas Relay Service (TRS) by dialing 7-1-1. Requests can also be faxed to 855-461-6674 or sent by e-mail to ADArequest@sanmarcostx.gov. For more information on the Historic Preservation Commission, please contact Alison Brake, Historic Preservation Officer at 512.393.8232 or abrake@sanmarcostx.gov.



CITY OF SAN MARCOS

Meeting Minutes

Historic Preservation Commission

Thursday, April 6, 2023

6:00 PM

Hybrid Meeting

Due to COVID-19, this was a hybrid in-person/virtual meeting. For more information on how to observe the virtual meeting, please visit:

<https://sanmarcostx.gov/2861/Historic-Preservation-Commission-VideosA>

I. Call To Order

With a quorum present the regular meeting of the San Marcos Historic Preservation Commission was called to order at 6:00 p.m. on Thursday, April 6, 2023.

II. Roll Call

Present 7 – Commissioner Ong'olo, Commissioner Rogers, Commissioner Baker, Commissioner Dake, Commissioner Dedek, Commissioner Long, and Commissioner Dillon

Absent 0

III. 30 Minute Citizen Comment Period:

No one spoke.

MINUTES

1. Consider approval, by motion, of the March 2, 2023 regular meeting minutes.

Commissioner Dake stated that the minutes should be amended to show that Commissioner Rogers declared the meeting adjourned as she was acting Chair.

A motion was made by Commissioner Dake, seconded by Commissioner Baker, to amend the minutes to reflect that Commissioner Dake was not yet present for the elections.

For: 7 – Commissioner Baker, Commissioner Rogers, Commissioner Ong'olo, Commissioner Dake, Commissioner Dedek, Commissioner Long, and Commissioner Dillon

Against: 0

The motion approving the minutes of the March 2, 2023 regular meeting as amended carried by the following vote:

For: 7 – Commissioner Baker, Commissioner Rogers, Commissioner Ong'olo, Commissioner Dake, Commissioner Dedek, Commissioner Long, and Commissioner Dillon

Against: 0

PUBLIC HEARING

- 2. HPC-23-07 (835 West Hopkins Street) Hold a public hearing and consider a request for a Certificate of Appropriateness by Derek Mizner, on behalf of Cathy and Robert Northcutt, to allow the addition of 48 square feet of living space to the rear of the building by constructing a screened-in rear porch, and to allow the installation of a new window on the second floor of the north side façade of the building where a gable vent currently exists so the space can be converted to conditioned living space.**

Alison Brake, Historic Preservation Officer, gave a presentation outlining the request. She concluded the addition of 48 square feet of living space to the rear of the building by constructing a screened-in rear porch was consistent with the San Marcos Development Code [Sections 4.5.2.1(l)(1)(a), 4.5.2.1(l)(1)(d), 4.5.2.1(l)(1)(e), 4.5.2.1(l)(1)(f), 4.5.2.1(l)(1)(g), 4.5.2.1(l)(1)(h), 4.5.2.1(l)(1)(i)] and the Secretary of the Interior Standards for Rehabilitation [Standard Numbers 1, 2, 3, 5, 6, 9, and 10], and the installation of a new window on the second floor of the north side façade of the building where a gable vent currently exists so the space can be converted to conditioned living space was consistent with the San Marcos Development Code [Sections 4.5.2.1(l)(1)(c) and 4.5.2.1(l)(1)(g)] and the Secretary of the Interior Standards for Rehabilitation [Standard Numbers 1, 2, 3, 5, 6, and 9] and neutral with the Secretary of the Interior Standards for Rehabilitation [Standard Number 10].

Robert Northcutt, 214 Lazy Lane, stated that he and his wife grew up in San Marcos and were happy to be back. Once the renovations to the home are complete, he stated that this will be their permanent residence. He expressed his excitement in purchasing this particular property. He was available for questions.

No one else spoke and Chair Ong'olo closed the public hearing.

Commissioner Rogers initiated a discussion regarding what constitutes living space. Discussion among the Commission ensued. Ms. Amanda Hernandez, Director of Planning and Development Services, stated that if this issue came up in future requests, staff would consult with the Chief Building Official to determine what is "conditioned living space" and to include that in the staff report. Commissioner Rogers stated that she would appreciate that.

A motion was made by Commissioner Baker, seconded by Commissioner Rogers, to approve the addition of 48 square feet of living space to the rear of the building by constructing a screened-in rear porch, and to allow the installation of a new window on the second floor of the north side façade of the building where a gable vent currently exists so the space can be converted to conditioned living space. The motion carried by the following vote:

For: 7 – Commissioner Ong'olo, Commissioner Rogers, Commissioner Baker, Commissioner Dake, Commissioner Dedek, Commissioner Long, and Commissioner Dillon

Against: 0

UPDATES**3. Updates on the following:**

- a. HPC Committee Reports Concerning Recent Activities**
- b. Grant Opportunities and Updates**
- c. Dunbar School Home Economics Building Restoration Progress**
- d. Historic Preservation Plan**
- e. Upcoming Events and Training Opportunities**

- a. Chair Ong'olo stated the Preservation Month Committee met on Tuesday, April 4th and explained that the event for this year's Preservation Month celebration was scheduled for Saturday, May 13th from 10 -2 at the Price Center 1910 Ballroom. The event will focus on the historic homeowner with speakers to present information covering various topics such as architectural styles found in San Marcos, solar panels & the historic home, and historic windows 101. Staff will also be on-hand to answer questions about permitting process or historic district/landmark questions in general.
- b. Nothing to report from staff.
- c. Nothing to report from staff.
- d. Staff is working on drafting the Request for Proposals to issue this spring.
- e. Staff provided an update on the upcoming public informational meeting on Thursday April 13th at the Dunbar Recreation Center. Consultants from both Stantec (NRHP Nomination) and the Dunbar School Building stabilization project (RVK & Post Oak Preservation) will be on hand to provide information to the public about each project.

4. Discussion regarding site elements in the historic district, including, but not limited to, sidewalks and provide feedback to staff.

Staff provided examples from San Antonio & Galveston regarding regulation of site elements in historic districts such as topography, sidewalks, walkways, fences, and walls. The Commission indicated interest in drafting a Recommendation Resolution regarding a proposal to amend the Historic District Design Guidelines found in Appendix C of the San Marcos Design Manual.

5. Discussion regarding the process to designate a tree a local historic landmark and provide feedback to staff.

Staff explained the different processes regarding tree and habitat protection as outlined in Chapter 6 as well as the historic landmark designation process. Discussion between staff and the Commission about protecting what is considered a heritage tree and the requirements to remove what is considered a heritage tree ensued. Commissioner Dake, who requested this item, stated that her questions had been answered regarding this topic.

6. Discussion regarding the feasibility of restricting new Certificate of Appropriateness (COA) applications if determined a previous COA was not constructed as approved, there are existing Code violations relating to COAs on the property, or there have been exterior alterations that have not been approved.

The Commission has been concerned with approving Certificates of Appropriateness where there have been documented violations in relation to COA regulations. Ms. Amanda Hernandez, Director of Planning & Development Services, provided insight that each request should be reviewed individually and treated on its own merits. It was agreed that next steps should be a meeting between Planning, Legal and Code Compliance to determine the most appropriate pathway forward, be it create policy or amend the Development Code, that would allow the Commission to not approve a COA if there were unresolved COA violations.

FUTURE AGENDA ITEMS

No new items were presented.

QUESTION AND ANSWER SESSION WITH PRESS AND PUBLIC

No one spoke.

**THERE BEING NO FURTHER BUSINESS ACTING CHAIR ROGERS DECLARED THE MEETING
ADJOURNED AT 7:23 P.M.**

Chelsea Ong'olo, Chair

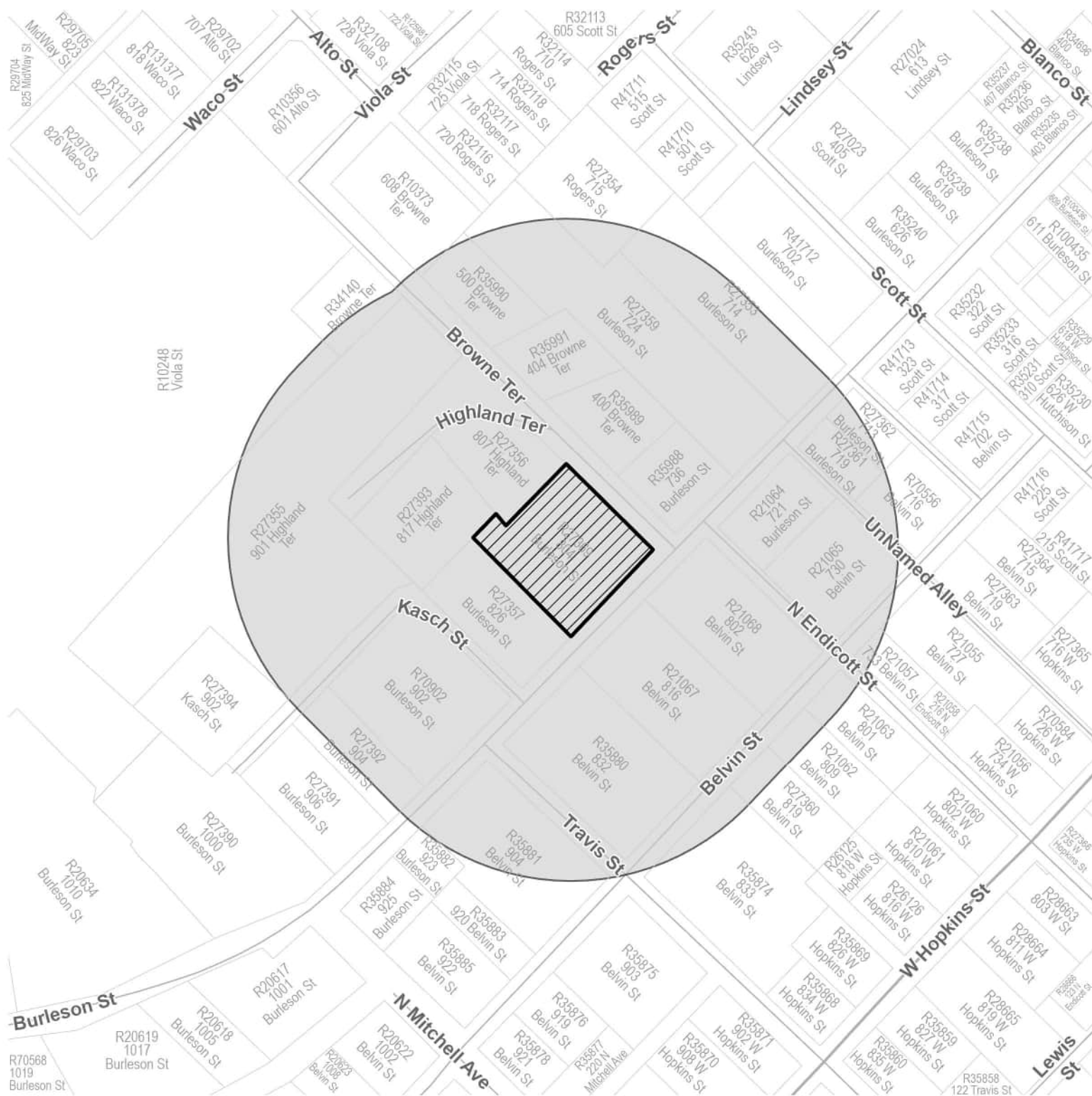
ATTEST:

Alison Brake, Historic Preservation Officer

HPC-23-06

Certificate of Appropriateness - 804 Burleson St (Garage/ADU)

400ft Notification Buffer



-  Subject Property
-  Parcel
-  400ft Buffer

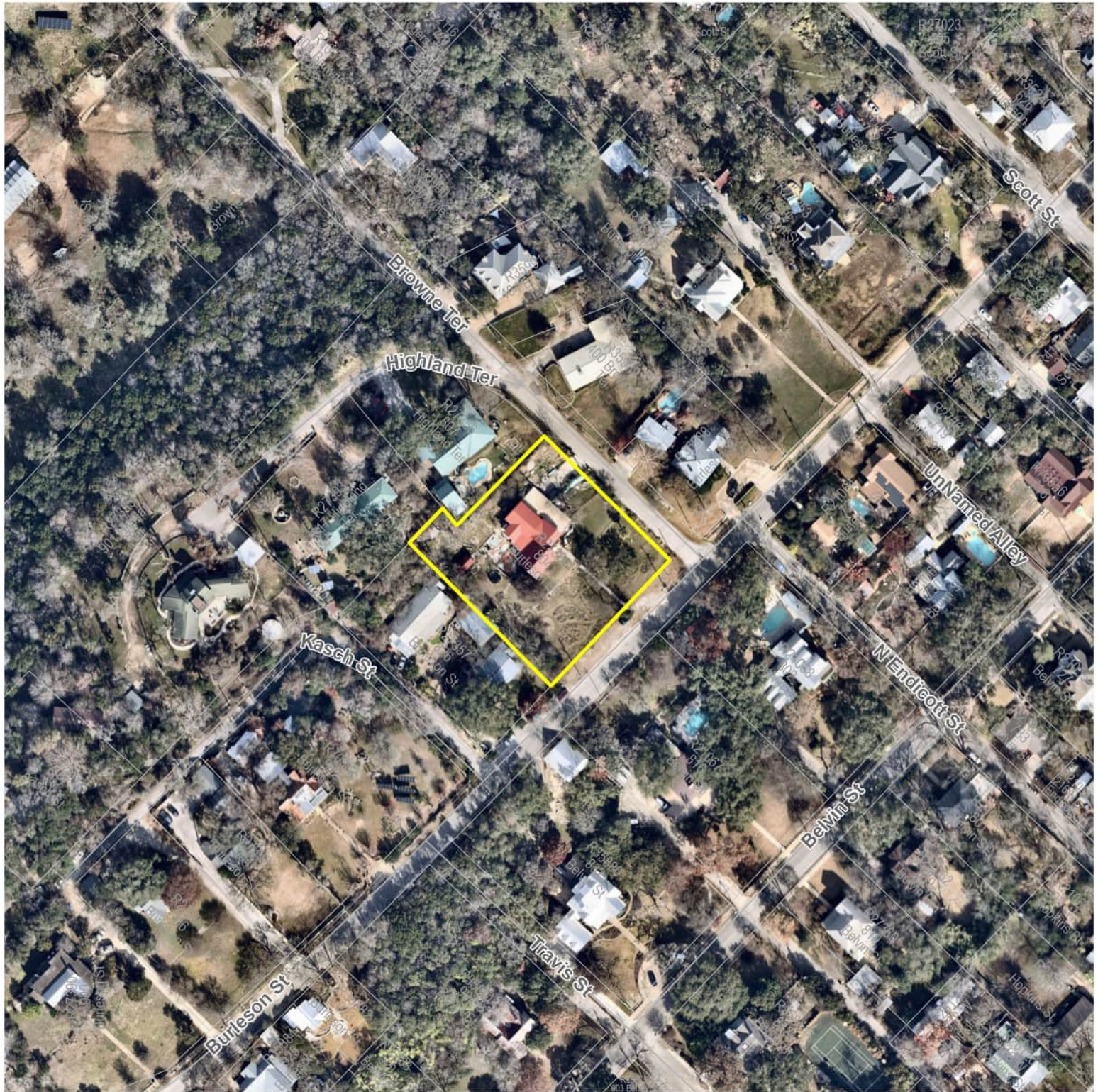


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023

Site Location



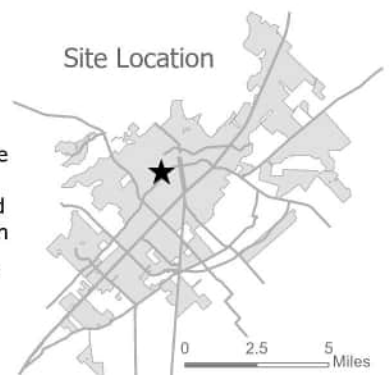


-  Subject Property
-  Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023



Certificate of Appropriateness

HPC-23-06 (804 Burleson Street)



Summary

Request:	New detached, 3-car garage with an Accessory Dwelling Unit on the second floor		
Applicant:	Kristy Money 804 Burleson Street San Marcos, TX 78666	Property Owner:	Kristy Money 804 Burleson Street San Marcos, TX 78666

Notification

Personal Mailing:	February 17, 2023	Posted Notice:	February 17, 2023
Response:	None as of the date of this report; previous responses have been attached		

Property Description

Address:	804 Burleson Street (See: Aerial Map)		
Location:	Corner of Burleson Street and Brown Terrace		
Historic District:	Burleson Historic District	Contributing Structure	Yes
Date Constructed:	1932	My Historic SMTX Resources Survey:	Medium
National Register of Historic Places:	Not Listed	Recorded Texas Historic Landmark:	No
Building Description:	Two-story, 3,463 square foot residential, stone construction material		

My Historic SMTX Historic Resources Survey Summary

Low	<u>X</u>	Medium	High
Medium priority properties are those that could be contributing to an eligible National Register of Historic Places (NRHP) or local historic district. These resources may also have significant associations but are generally more common examples of types or styles or have experienced some alterations.			
The database states the property was the home of Willie (Holloway) & Frank Zimmerman. Mr. Zimmerman was the owner of the movie theaters in town in the 1930s and was known as "Mr. Theater". Information from the property owner states that Mr. Zimmerman came to San Marcos in 1922 from Los Angeles and was inspired by Hollywood Art Deco/Mediterranean styles. Mr. Zimmerman later became the Mayor of San Marcos and guided the effort to establish the police department, water and sewage facilities, the City jail, traffic lights, and garbage service. The database states that the stone used for this house was quarried from his father in law's ranch in Dripping Springs. The survey notes that the flat roof was altered to gabled and that the side porch was enclosed, and a roof added, with a rear carport addition in 1960s. (See Attached, Historic Resources Survey Inventory Table, 1944 Sanborn Map)			

Certificate of Appropriateness

HPC-23-06 (804 Burleson Street)



Current Request

The Commission postponed action on the request at the March 2, 2023 regular meeting.

The applicant is proposing to construct a new, detached, two-story, three-car garage that will include a 1,000 square foot Accessory Dwelling Unit (ADU) on the second floor. Accessory Dwelling Units are a limited use within a single-family zoning district. Section 5.1.3.1(C)(2) regulates these types of structures and uses.

The applicant originally brought this request coupled with a request for a driveway to the Commission in January; the request was denied. The applicant has modified the request to incorporate design points discussed by the Commission at the January 5, 2023 regular meeting, which include:

- Patio roof has been removed from design.
- Single garage doors are proposed versus one single door and one double-wide door.
- Stucco, with stone accents, is proposed for the exterior material.
- A new exhibit has been submitted showing the massing of the proposed structure next to the existing home.
- The renderings now include an illustration of the grading on the property.
- The floor plan has been provided.

Please refer to attached documents for the application documents, site plan, floor plan, photographs, material descriptions, and architectural renderings.

My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<u>No Affect</u>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <i>Approval of the request would not affect the activity noted above.</i>
<u>N/A</u>	For Historic Districts, compliance with the Historic District regulations
<u>No</u>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <i>The property owner will not suffer an extreme hardship.</i>
<i>See Analysis Below</i>	The construction and repair standard and guidelines cited in Section 4.5.2.1

Certificate of Appropriateness

HPC-23-06 (804 Burleson Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1)) New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
Consistent	Inconsistent	Neutral	
<u>X</u>			a. Height. The height of a proposed building shall be visually compatible with adjacent buildings. <i>The proposed building will not be taller than the main structure. The applicant has provided that the main home is 32-feet tall from the front elevation facing Burleson Street. The renderings show the proposed structure to be a total of 21-feet tall from grade to roof. Due to the topography of the property, the applicant will have to excavate, or cut into, the site to construct the new structure. In the renderings, this is illustrated using a bold line with the portion below grade, where land has been excavated, is illustrated using a dashed line.</i>
<u>X</u>			b. Proportion of Building's front Facade. The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related. <i>The applicant states that the main home is 77-feet wide, and the proposed width of the new structure is 32-feet. The width of the proposed building is not wider than the main home.</i>
		<u>X</u>	c. Proportion of openings within the facility. The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related. <i>The proposed openings on the second floor shown on the renderings are sliding glass doors that are proposed to function as windows. The applicant states that the doors measure 80-inches x 72-inches. The front of the main home includes large picture windows which the applicant states measure 108-inches x 72-inches.</i>
	<u>X</u>		d. Rhythm of solids to voids in front Facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related. <i>There are more voids on the front façade of the main home than on the proposed structure. Three single garage doors will be installed, which is recommended by The Historic District Design Guidelines.</i>

Certificate of Appropriateness

HPC-23-06 (804 Burleson Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>e. <u>Rhythm of spacing of Buildings on Streets</u>. The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related.</p> <p><i>The proposed structure will be located behind the front façade of the main home, towards the rear of the property, which the Guidelines note as preferable.</i></p>
		<u>X</u>	<p>f. <u>Rhythm of entrance and/or porch projection</u>. The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.</p> <p><i>The proposed structure's entrance will be oriented to Burleson Street whereas the entrance to the main home is oriented towards Browne Terrace. However, both front façades are oriented to Burleson Street.</i></p>
<u>X</u>			<p>g. <u>Relationship of materials, texture, and color</u>. The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related.</p> <p><i>The applicant is proposing to utilize stucco for most of the exterior material for the proposed structure. The renderings show natural stone accents for the front façade of the first floor, or garage portion. Red metal roofing will be used for the awning located along the front facade, compatible with the red roof of the main home.</i></p>
	<u>X</u>		<p>h. <u>Roof shapes</u>. The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.</p> <p><i>The proposed garage has a flat roof to provide patio space above the Accessory Dwelling Unit. The main home has a gable, metal roof.</i></p>
		<u>N/A</u>	<p>i. <u>Walls of continuity</u>. Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p>
<u>X</u>			<p>j. <u>Scale of a Building</u>. The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p> <p><i>The scale of the proposed building is compatible to the main home. The applicant has provided that the main home is 32-feet tall from the front elevation facing Burleson Street. The renderings show the proposed structure to be a total of 21-feet tall from grade to roof.</i></p>
<p><i>See Attached Historic District Design Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><i>See attached Sections C.1.2.4, C.3.2.5, and C.3.2.6, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></p>

Certificate of Appropriateness

HPC-23-06 (804 Burleson Street)








Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <i>The property will continue to be used as a single-family home.</i>
<u>X</u>			2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. <i>The proposed garage will be located behind the front façade of the main home, towards the rear of the property, retaining the spatial relationship of the property. The renderings show the new structure is 135-feet from Burleson Street and the main home is located 113-feet, seven-inches away from Burleson Street.</i>
<u>X</u>			3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken. <i>The proposed structure is not a conjectural feature.</i>
		<u>N/A</u>	4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
		<u>N/A</u>	5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
		<u>N/A</u>	6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Certificate of Appropriateness

HPC-23-06 (804 Burleson Street)

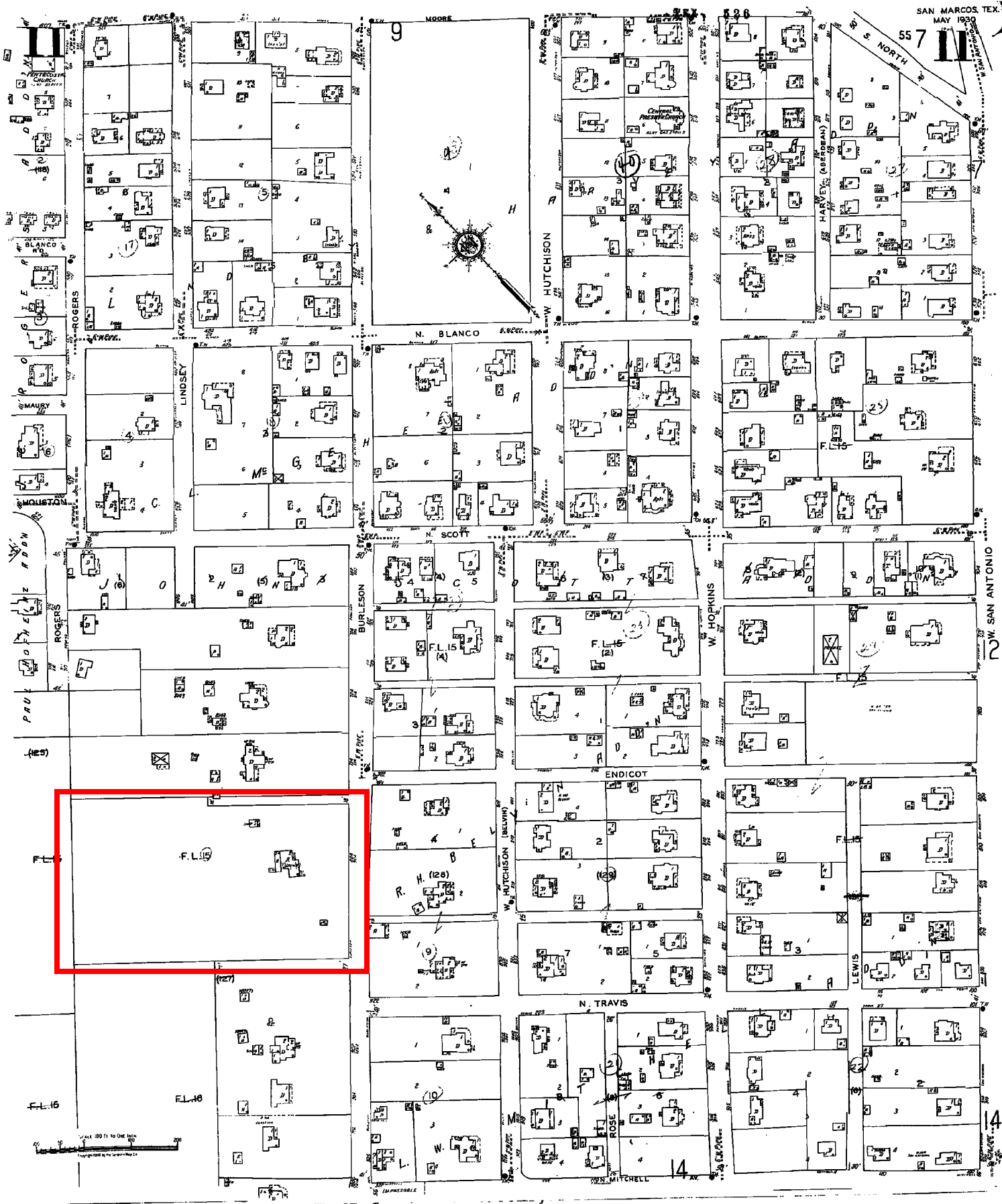


Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><i>The applicant is proposing to utilize stucco for most of the exterior material for the proposed structure. The renderings show natural stone accents for the front façade of the first floor, or garage portion. Red metal roofing will be used for the awning located along the front facade, compatible with the red roof of the main home.</i></p>
		<u>X</u>	<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p><i>While the proposed building could be removed in the future without impairing the integrity of the main home, the excavation of the property could potentially impair the essential form the site.</i></p>

Local Id# / Image	Address	Current Name/ Historic Name	Current Function/ Historic Function	Stylistic Influence/ Historical Context	Construction Date	Existing Designation	Eligibility	Priority
R27369 	804 BURLESON ST SAN MARCOS	Zimmerman Home	Domestic	Vernacular; Art Deco/Mediterranean (influences) Architecture, Community Development	1932	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District	Individually: No In District?: Yes Contributing	Medium
Burleson Local Historic District						<input checked="" type="checkbox"/> Contributing		
R27357b 	826 BURLESON ST SAN MARCOS		Domestic	Minimal Traditional	ca. 1945	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: Yes Non-contributing	Low
Burleson Street Local Historic District								
R27357a 	828 BURLESON ST SAN MARCOS	Kasch Corner	Domestic	Ranch Style	ca. 1950	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Burleson Street Local Historic District								
R70902 	902 BURLESON ST SAN MARCOS	Kasch House	Domestic	Queen Anne Architecture, Community Development	1890-94	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District	Individually: Yes In District?: Yes Contributing	High
Burleson Street Local Historic District						<input checked="" type="checkbox"/> Contributing		
R27392 	904 BURLESON ST SAN MARCOS		Domestic	Colonial Revival	ca. 1935	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Burleson Street Local Historic District								

557

S. NORTH





ARCHITECTS

CUSTOM PLANS

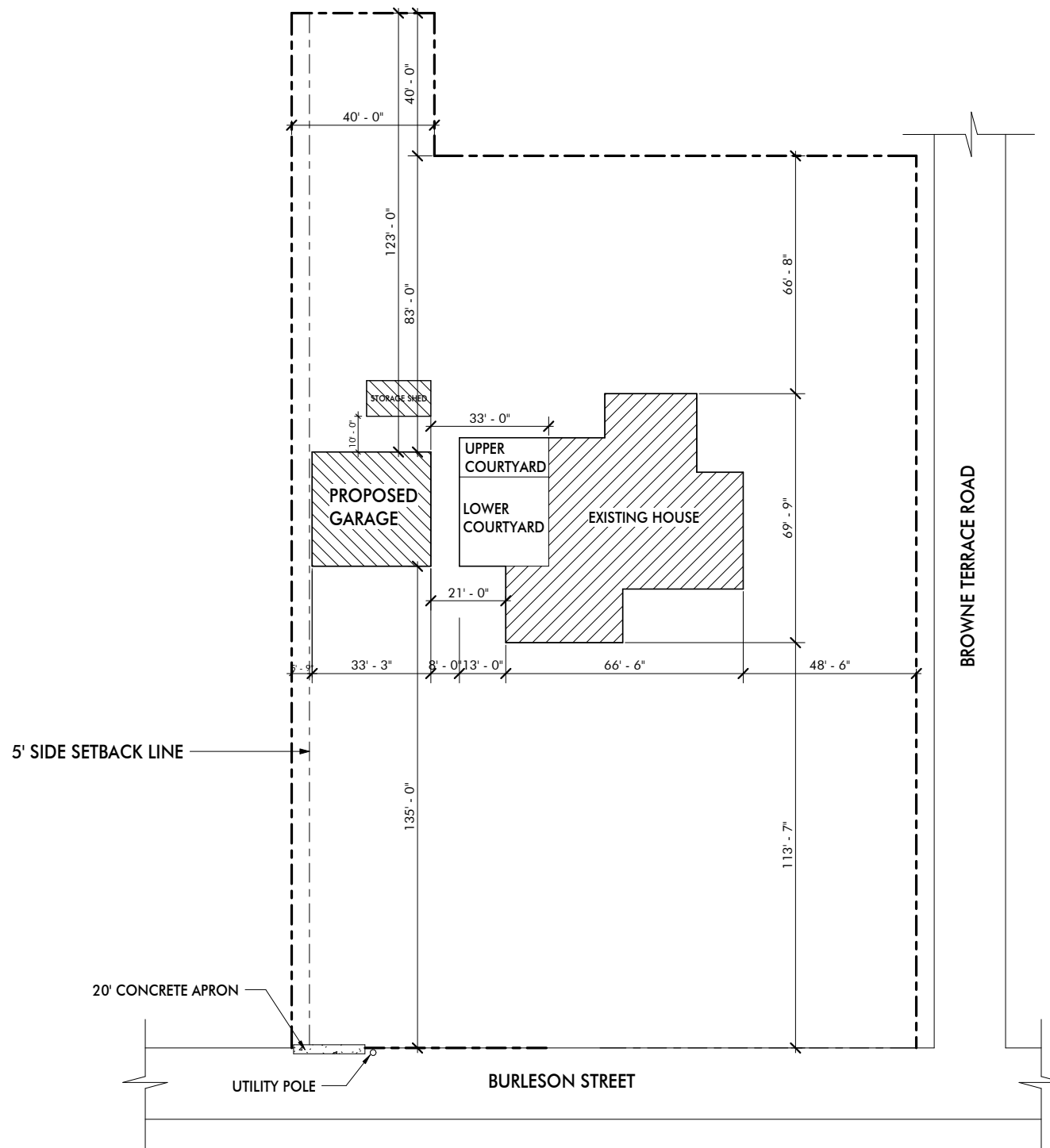
No.	Description	Date

SITE PLAN-MAIN HOME-ADU

Project number	001
Date	SEPTEMBER, 2022
Drawn by	STEPHEN
Checked by	STEPHEN

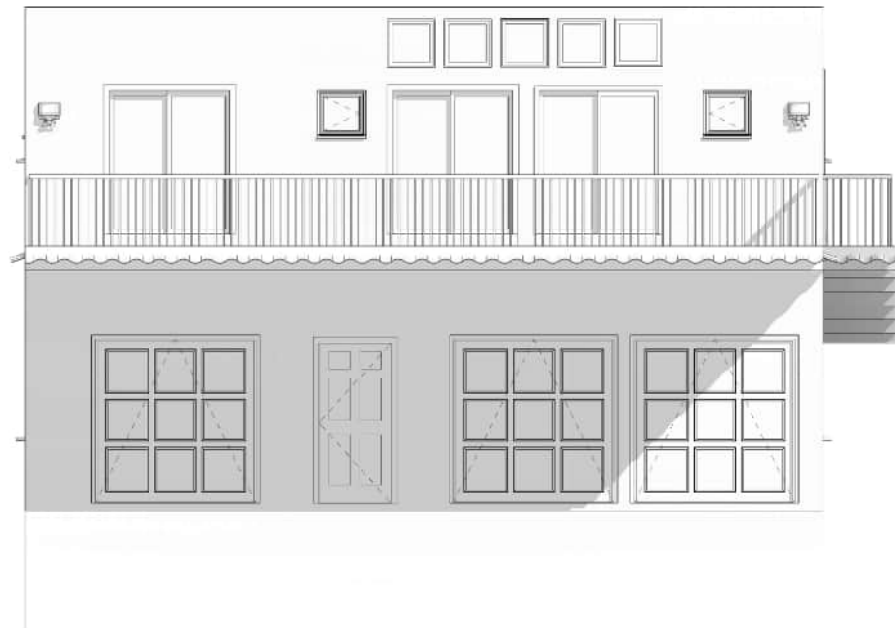
A112

Scale	3/64" = 1'-0"
-------	---------------



① SITE PLAN SHOWING MAIN HOME & ADU
3/64" = 1'-0"

KRISTY NEW GARAGE DRAWINGS





ARCHITECTS

CUSTOM PLANS

No.	Description	Date

FRONT & LEFT ELEVATIONS

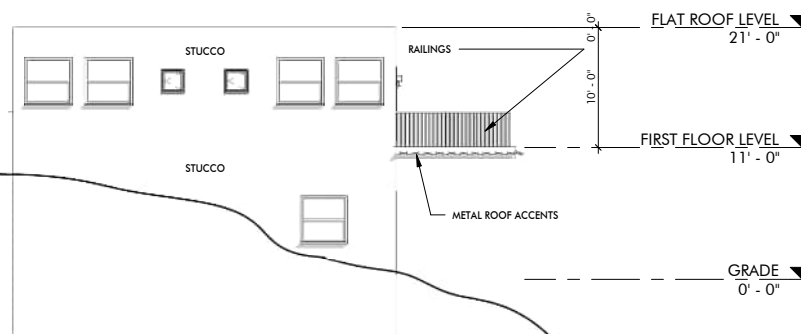
Project number	001
Date	SEPTEMBER, 2022
Drawn by	STEPHEN
Checked by	STEPHEN

A109

Scale	1/8" = 1'-0"
-------	--------------



① FRONT ELEVATION
1/8" = 1'-0"



② LEFT ELEVATION
1/8" = 1'-0"



ARCHITECTS

CUSTOM PLANS

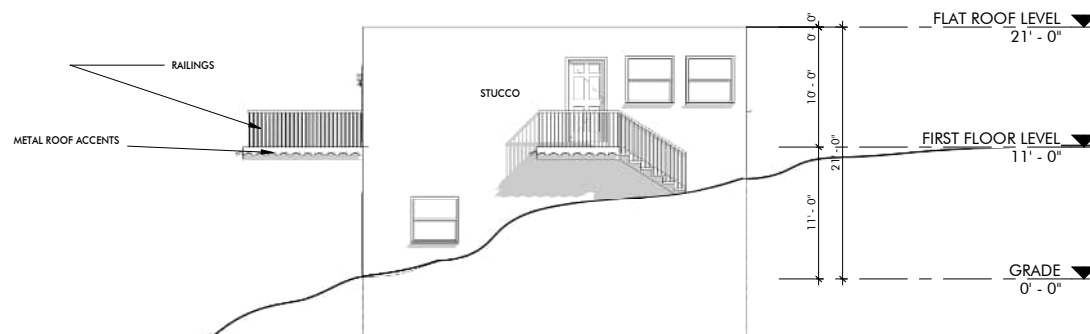
No.	Description	Date

RIGHT & REAR ELEVATIONS

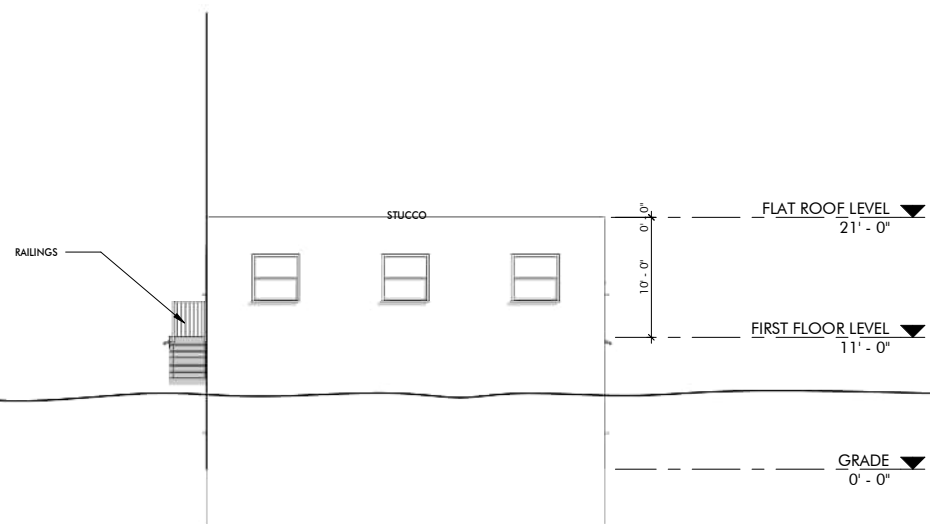
Project number	001
Date	SEPTEMBER, 2022
Drawn by	STEPHEN
Checked by	STEPHEN

A110

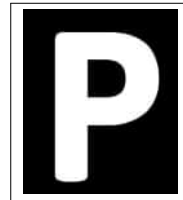
Scale 1/8" = 1'-0"



① RIGHT ELEVATION
1/8" = 1'-0"



② REAR ELEVATION
1/8" = 1'-0"



ARCHITECTS

CUSTOM PLANS

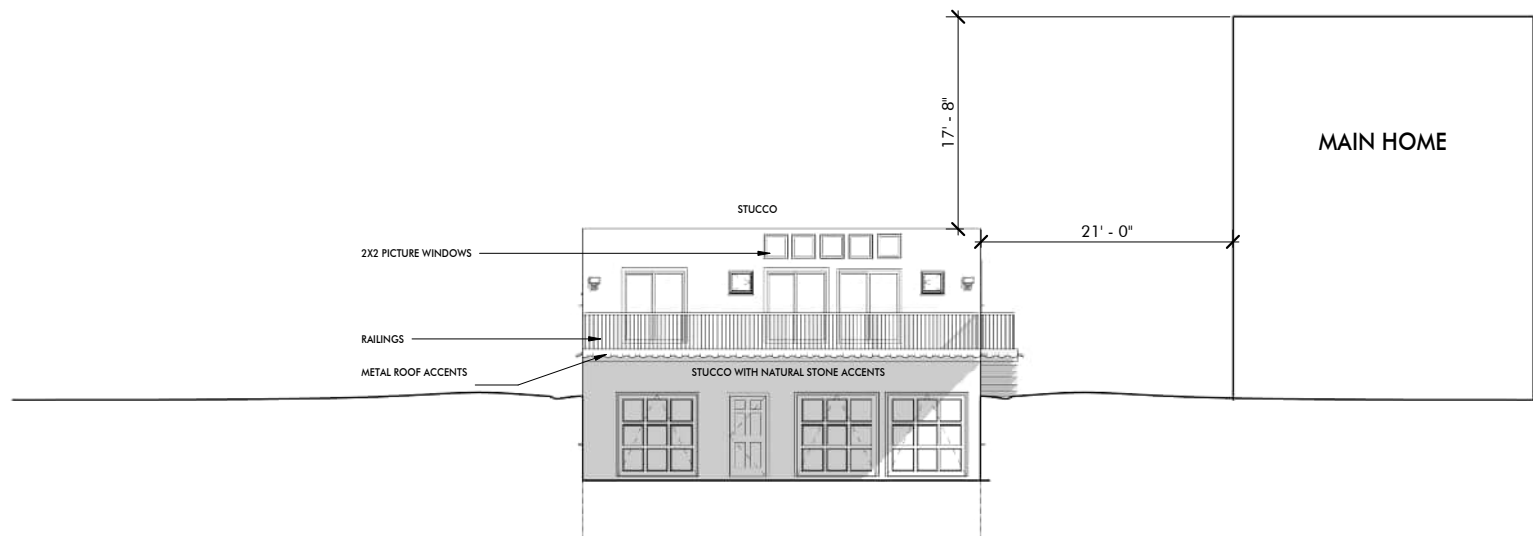
No.	Description	Date

ELEVATIONS W/ MAIN HOME

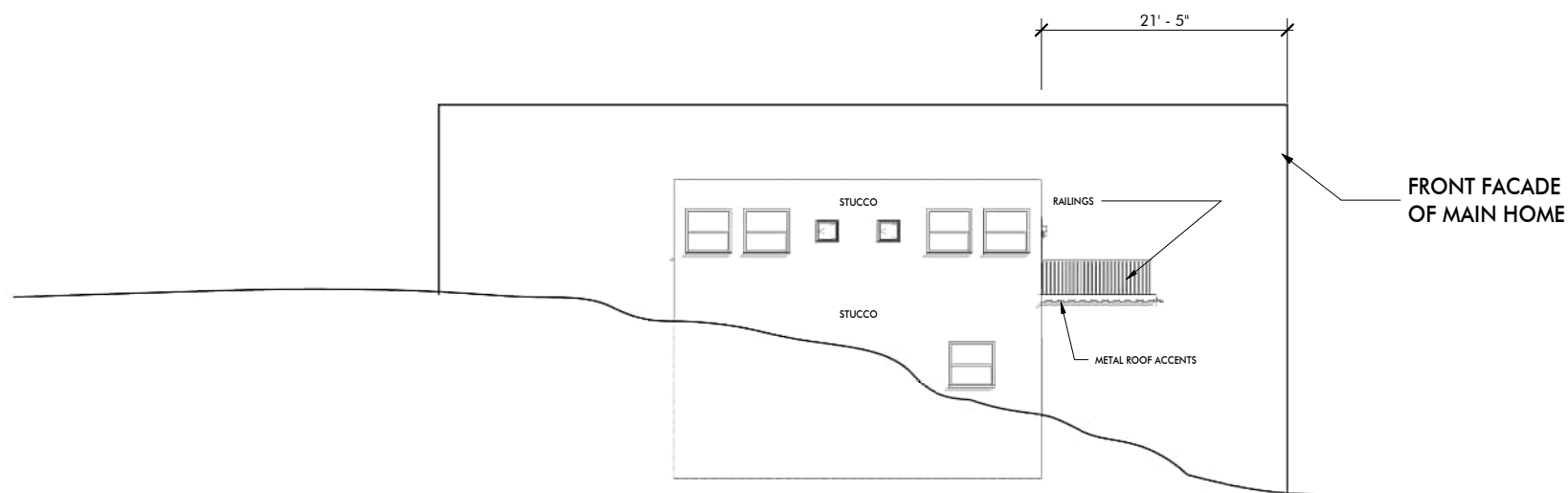
Project number	001
Date	SEPTEMBER, 2022
Drawn by	STEPHEN
Checked by	STEPHEN

A114

Scale	1/8" = 1'-0"
-------	--------------



① FRONT ELEVATION W/ MAIN HOME
1/8" = 1'-0"



② LEFT ELEVATION W/ MAIN HOME
1/8" = 1'-0"

804 Burleson St, San Marcos TX

1000sq ft Living Area/Three Car Garage and Driveway

Certificate of Appropriateness

Photos and Material Descriptions

*January Revisions post-HPC feedback are in **yellow**, additional visuals requested by members in appendix*



*Existing conditions (front of house, **32 ft tall** not including chimney)--3 other elevations in appendix). **32** because previous number was an estimate, but 32 is the accurate number after measured with a clinometer).*

1. Detailed description of all proposed activities to be undertaken:
First, foundation contractor will construct driveway. Then, he will construct slab foundation. Then we will build detached 3-car garage (garage on 1st floor, living area on second)

Close-up photo of decorative balcony guardrail:

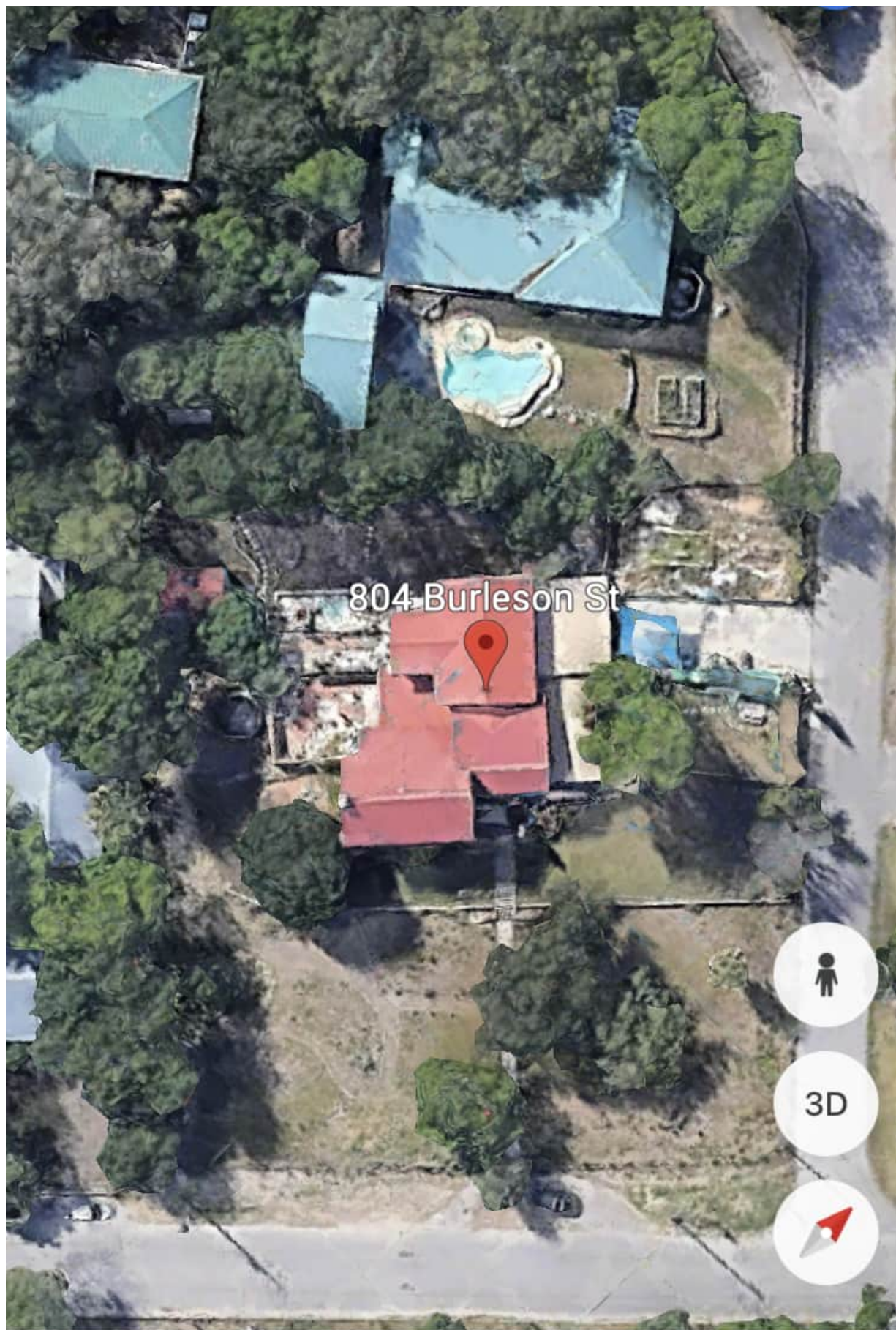


Area of Alteration Photos:

(there's an XL trampoline in that area now, pictured, will be removed):







✕ 804 Burleson St Building

2. Existing Building Materials:

Natural stone

Stucco

Black metal guardrails on stairs (Italianate style)

Gravel in courtyards and neighbors' driveways utilize gravel

Red metal roof, and terra cotta roof tile accents on balcony with black, decorative guardrail

Large picture windows made of glass and steel

3. Existing Site Plan

(see proposed site plan on page 21, architect says it's the same site plan, simply without the new garage and driveway)

4. Existing building elevation:

32 ft tall from front elevation facing Burleson St., what can be seen from road (and 3 car garage w/living space will be 20 ft tall. Roof patio/parapet has been deleted)

5. Description of proposed building material details, specifications:

Primarily stucco with natural stone along edges and borders of windows, stone of complementary (but not exact same) color to existing house, large windows that will double-function as sliding doors (see pics/specifications below) for environmentally-friendly design, as opposed to current picture windows on existing house that cannot be opened. We will harness hilltop winds to cool the interior down naturally.

Exterior Wall Sconces:



 View In Your Space



 Chat Now

- Cast aluminum construction
- Black finish with seedy glass
- Suitable in wet location

Fixture Height (Inches) >
8.78

Fixture Width (Inches) >
7.55

Garage Doors



Menu

Search



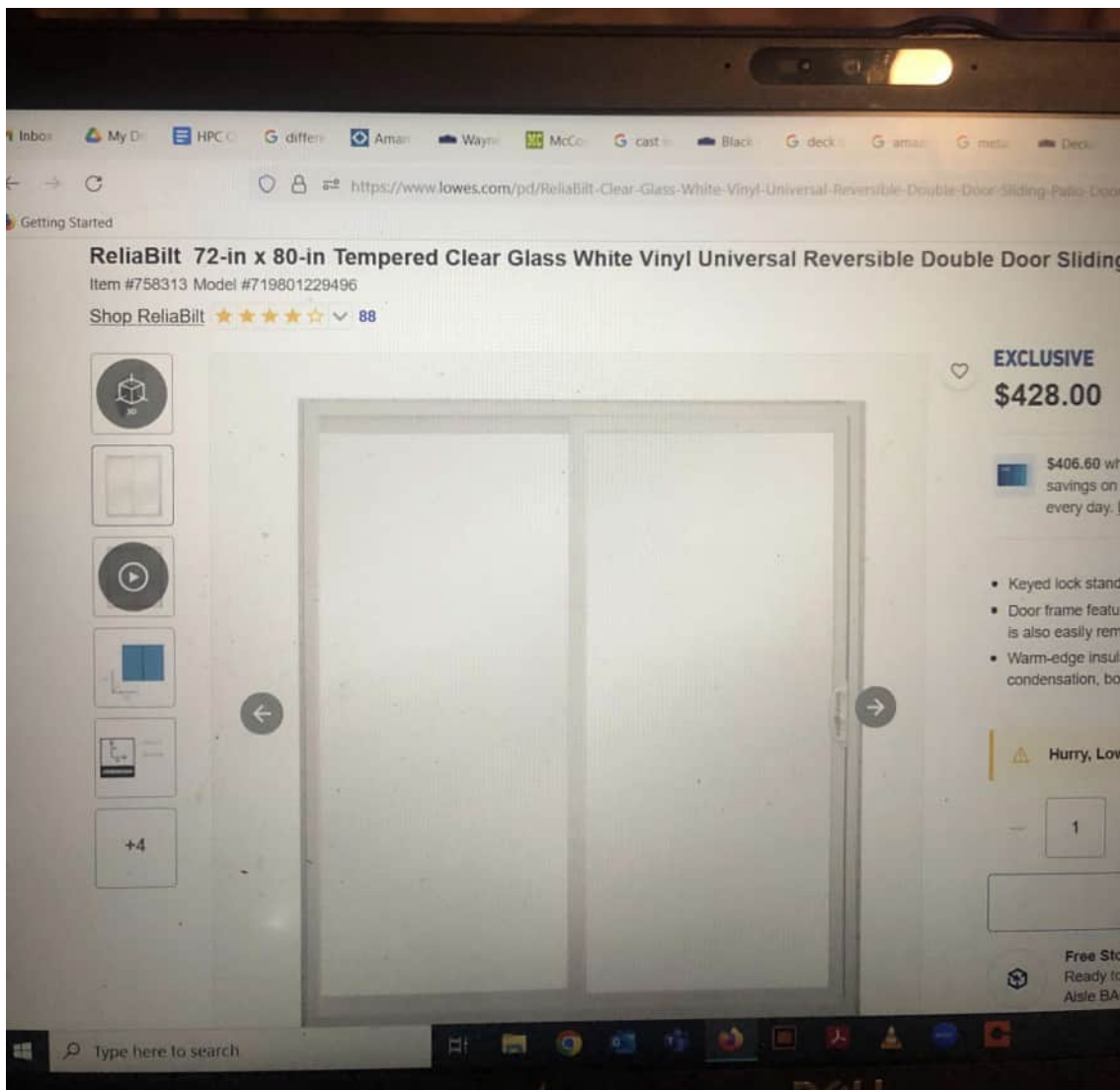
All Departments > Home > Home Improvement >

Amarr Hillcrest 1000 Sandtone Panel Garage Door (Multiple Options)

Item # 496861 | ★★★★★ 4.0 (2)



Front picture windows alternative (sliding doors): will be able to open/close and better for air quality/heating cooling bill/safety, did not exist when home built. Current picture windows are 108 inches by 72 inches, sliding doors will be 80 by 72 inches. They line up in a group of 3 on original house and will be for ADU too. **Current house is much taller and wider than is possible by ADU size/height restrictions, so proportionally the ADU windows will complement, because they will not be exactly the same size of, the largeness/distinction the windows serve on the front facade of original house. The 1932 house had a modern/Med-Deco design for its day and we want to complement that theme with the windows. Terra cotta tiles will not be used to copy the original house, but instead we will use red metal roofing material for the awnings.**





Front and side door.

JELD-WEN 32-in x 80-in Steel Universal
Reversible Primed Slab Single Front Door Solid
Core

Item #782756 Model #JW233200005

Shop JELD-WEN  57

\$188.00



\$178.60 when you choose 5% savings on
eligible purchases every day. [Learn how](#)



Decorative scrollwork that will be welded onto black guardrail posts of code-compliant stairs of ADU's back exit and front porch to complement existing balcony guardrail (the "heart" shape will not be split into two halves, to differentiate the new structure from the original structure that has "s" shape of the scrolls instead of a double "heart")

[/ Deck Accents](#)

Gilpin Black Metal Deck Rail Centerpiece

Item #5266905 Model #571

**\$21.61**

\$20.53 when you choose 5% savings on eligible purchases every day. [Learn how](#)

**Newel Posts**

Ballusters (rails/corner posts will be white in italiante style, and different from the square corner posts on existing balcony (3 inch by 3 inch square posts, see pic), because they will be rounded.

Brand: Generic

★★★★★ 270

29.5 in. x 1 in. x .1875 in. Black Aluminum Silhouette
Balusters (60 pack), Wood and Composite Deck Railing
Compatible, Semigloss Finish, Wrought Iron Look



Item Package Quantity: **60**

Accurate annotated Site Plan:

(see attachment to this email)

APPENDIX

Original 1932 home: note **flat** roof, italiante balcony, and gravel driveway



3 other elevations of original house. Elevation facing Browne Terrace shows stucco and the new addition which is also stucco. It will not be difficult to distinguish the original house from garage/ADU because the garage, in addition to being significantly shorter and thinner, will be constructed of the materials we used for the addition, which is clearly not trying to copy the original front facade of the house. The original hand-hewn stone facade will remain to distinguish and highlight building materials and methods used in 1932. The new stucco with stone accents (pictured below) look clearly modern and are used on many modern houses, and would have been too cumbersome for 1932.



Elevation facing new garage. Stucco



Elevation facing Browne Terrace. 2019 Addition on left with the 3 windows, designed by Greg Standard, architect and former HPC commissioner. Stucco/stone combo



Rear elevation, showing addition on top of original stone. stone/stucco combo

More additions to checklist/application after 1/5/23 HPC Commission feedback (all new):

More pictures and drawings were requested to show what excavation would take place for the slab foundation. Entrances, exits, and stairs were also requested to be drawn. See pics.

One commissioner worried about cars exiting from a new driveway on Burleson St. being t-boned from Burleson traffic coming down the hill. However, having a Burleson St driveway is actually a safer option than Browne Terrace, and why we are excited to build it, because our property from the front elevation actually extends far beyond the fence, so as we are coming out of the driveway we have a good 12-15 feet to continue to coast along our flat, driveable property to stop and wait to make sure no cars are coming, and join the right of way with a very clear view of what's coming down the road from both directions. It's what we already do when we need to drop off courtyard building materials like heavy stones, gravel, etc at the top of the hill, and it's a lot easier and safer than Browne Terrace. In fact, many neighbors, including Donny Bagley's wife, have voiced concerns to us about how our Browne Terrace driveway does not have good driver sight and a car could easily hit us backing out and cause an accident that could send cars careening into their house. A Burleson St driveway fixes that. Also, for the record, of the 13 cars Mr. Bagley, the Claytons, and others on Browne Terrace complained about, it's likely 5 of them weren't ours but are from the rental cottages next door to us. We notice that more cars park there when the 3 cottages have weekend/overnight visitors or parties (they're all college students), they are technically parking on our property, not on the street, just as our airbnb guests park on our property, not the street (again, see pic of gravel and horseshoe in front of our fence, which is still very much our property). The 3 cottages guests also leave after the weekend. Furthermore, ZERO cars, of ours, our friends, or any guests we have are ever parked on Browne Terrace anymore. These neighbors told us they didn't want us to, so we don't. Their cars, when they have visitors, are often street-parked on Browne Terrace, but never us. So I was saddened by their characterizations in their letters about parking issues, even though, again, not HPC-related.

Mr. Perkins made it clear in his reading of the standards that it is recommended that altering non-significant interior spaces be considered first, and that if the family's needs can't be met by altering existing interior space, another building can be built. We have considered all options to accomplish our goals of needing more room and a large garage to securely store our vehicles and keep them out of extreme freezes like the 2021 snowstorm. The carport can barely hold 2 vehicles, really only 1 car unless the kids squeeze in between cars and don't open their doors all the way. A homeowner should be able to open their doors fully to fit 2 cars in. We can't, believe me we've tried. Also, another way that the original home will be clearly distinguished from the smaller ADU is that we have a long, stately, original concrete walkway from Burleson St. that leads all the way up to the front of our home. That helps make it clear that's the home, and that's how visitors always enter. The rock columns we built in 2019 and lamppost on either side of the walkway also help make it clear where the main home is. There will be no visible walkways to the garage/adu.

Furthermore, we have thought over and over about how to accommodate our parents into our existing house while still creating the privacy and independence they (and we) would want. We can't, we've considered every possible scenario with the current footprint. Our family's needs are unique. Independence would become less and less as our parents need our 24/7 care. Since we just have one big kitchen in the center of the house, there's really no way to do that long-term in the beginning. An ADU would truly be the best way to accomplish our family's needs. Our plan is to start them off in the ADU while they can still walk up stairs without too much difficulty, and then, as that gets harder, they will likely move into the middle of the house that already has the kitchen, an accessible bathroom/shower, a big bedroom, little bedroom, and family room that was formerly the sunroom (see floorplan attached). It has no exterior stairs than the ADU would have, and no interior stairs, all those rooms are on one floor. They could get out of their car, get in, go outside, come back in, all without a

single stair. Frank Zimmerman Jr. told us that his mom only used those same rooms in the house during her last days, because she couldn't do stairs anymore. She died in that bedroom, that currently has a sliding glass door so they can exit without stairs to the lower courtyard, and also without stairs to the proposed driveway/garage. It's all flat, on the same "level" (our house, when we bought it, had 4 levels).

At that point, when our parents can no longer climb stairs and move into the original house, we will be sharing the kitchen with them as we'll likely be cooking their meals, and will be living in rooms in both the front and in back of them in the original house, and we imagine by that time some of our kids will spread out into the ADU and use it so they can still have their own bedrooms that our parents will be using, but also have more independence.

To the recommendation that there be balance between differentiation and compatibility. We understand that if the addition is identical it's not compatible. And that it needs to be subordinate. We have revised our plans so that it is a full 10 ft shorter than the original house, it is 40 ft behind the original structure so it is definitely subordinate in that way in how far set back it is, much further than the original. And we have the shed in a similar position as the proposed garage to demonstrate how the setback clearly matters in terms of a viewer from Burleson St. They'll be able to tell the main house apart from the smaller, and set back ADU, easily. Yes the shed is smaller, but the difference is negligible since the long, 18 ft side faces Burleson and that long side is helpful to see for scale because yes the garage will be 32 ft long not 18, but the existing house is 3 times longer (from Burleson St. View) than the garage will be. With the side porch covered by attached shed roof included, **the house is 77.5 Feet long!!!!** (see original floorplans). Almost 4 times wider than the ADU from Browne Terrace. It's 4500 sq ft, it's a beast, with no garage doors to indicate any of the home is anything but living space. I'd argue it's out of place for a mansion that size not to have an unattached large garage. The ADU will be 1000 sq ft, and will clearly be resting on the garage commensurate the original house's needs. Very similar to other ADU/garage combination separate structures in the historic district (see pics).

To the recommendation that any new structure be constructed in a way to minimize impact on the historic district, we will plant native oak trees in front of the garage near Burleson St. to minimize the impact.

Mr. Perkins mentioned the new structure is recommended to be compatible with size and scale of the original historic building and surrounding historic buildings. The proposed structure is compatible in size to other ADU/garage combos on Burleson/Belvin streets, and since it is smaller and not identical to the existing structure we believe our revisions make it compatible with our original home.

Mr. Perkins mentioned it is not recommended any changes be made to the grade level. We won't be doing that. Instead, we are only excavating to build the foundation, into the side of our existing hill. If you drive up Kasch Street where the 3 rental cottages Carl Deal used to own were built, you can see how the cottages are similarly built into the hill the way we will do with the garage/adu. Which will make it fairly easy for anyone to exit from the back door of the ADU onto the hill with very few steps. See attached pics of the cottages from the street demonstrating this.

Mr. Perkins read aloud how new additions are recommended where the historic structure is completely missing what the new construction would provide. In our case, that's a garage. We don't have one. We need one that can fit 3 cars so they won't be broken into in a carport (there have been many car breakins on our street), and so that they won't be exposed to the extreme ice/heat we have. We will have 6 drivers (our children) before long, they'll want to invite their friends over after school, and when high schoolers are driving there are parking needs we'll need, especially if our parents will still want to and be able to be driving.

In terms of voids to solids, we are welcoming feedback from Mr. Perkins and the committee on where they would like windows/doors/more voids on the proposed structure. We have amended the combined garage door to be 3 separate individual garage doors.

For (e) rhythm to spacing on the streets, please see attached pictures of similar properties to our proposal on our street and adjacent streets in the historic district.

For rhythm of entrance and front porch projections, the awning will double as a front porch to the ADU, and is compatible with the size of our front porch facing Burleson St. There will be no porch or concrete slab in front of the garage, just the one. We have deleted the patio/parapet on top of the structure, so that makes it smaller and there's no porch for people to stand on there anymore.

Mr. Perkins suggested we use the carport for our parking needs, or alter it so that we don't need a detached garage. We have 5 children, that's 5 more drivers, and in-laws. As I hope the above explains, the carport simply can't accommodate our large family's needs, not even if we enclosed it because it is too small.

Mr. Perkins was clear, and we appreciate how he said that no one is against an accessory dwelling unit per se, as long as design is implemented in a way that is compatible and contributes to that building, other buildings, and the historic district. We're happy to make the changes necessary to accomplish that. Along those lines, we'd welcome HPC's feedback on what IS a historically appropriate driveway, and we'll do that. We based our driveway plans based on explicit feedback and instructions from the city's historical preservation staff, but we are open to hearing what Mr. Perkins has in mind.

Appendix item 1: First and Second Floor floorplans of original home from 2017, please note appraiser was incorrect in labeling back area as garage - it was not a garage, it was too small to fit 2 cars even if we wanted to use it as one, but regardless it was Zimmerman's movie theater office, and the home's cellar. We found a safe under the linoleum when we gutted it where he put the money his theater managers delivered to him. His son Frank Jr. helped us find it and explained it to us when we found him on ancestry.com and invited him over. It is now our movie/rec/gaming room.

On the claim that a driveway off Burleson wouldn't be historic because Heritage corner lots don't:

- # of estates that are similar enough to ours in terms of size and being that far setback from the road: 12
- Of, A., # of estates that have their driveway off the front street: 9
- OF A. # of estates that are corner lots: 4

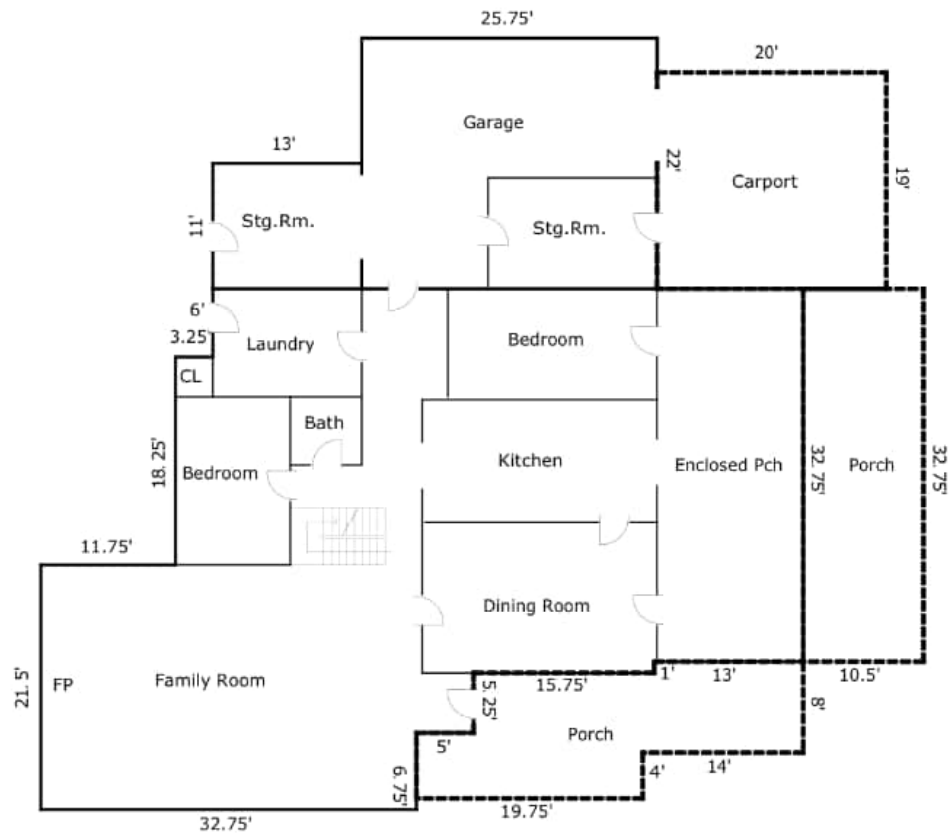
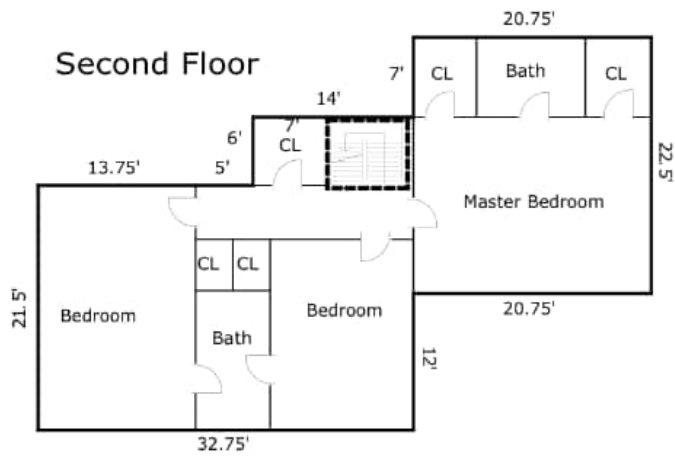
While I understand Mr. Perkin's hypothesis that most of those corner lots have their driveways on the side streets, that's not entirely true. Only 3 of those 4 ostensibly have their driveways on side streets. HOWEVER, in 2 of those 4 cases, the two side streets (Quarry St. and Kasch St.) originally WERE the driveways of those estates. The Sanborn maps confirm this. They only became actual streets when the estate was divided and lots added that needed road access. In both those cases, those lots range from 3-7, so: not a lot of traffic, and those 2 roads still retain the use and look of a driveway for those estates. To strengthen my case, so was Browne Terrace, it was not a street when the Browne Estate Mansion stood there, and when Zimmerman built in 1932: It was the lot's driveway! It's only when the Browne's subdivided, and the Victorian next to the Bagley's subdivided to create the Bagley and Prather homes, that it became a street, that went up to connect to Alto and those houses up there, and new houses built with further subdividing. Now, Browne Terrace is a pretty busy street, used frequently to get to Crockett Elementary and the many homes built in the 1970s-1980s built up there. That's why it's a hazard for us to pull in and out of that driveway given the blind hill, and why neighbors like the Connie Bagley would prefer we had a driveway off Burleson St. to lessen the chances of an accident on Browne, because Browne is the only driveway Mrs. Bagley has.

I would ask Mr. Perkins if he was thinking of 702 Burleson when making his claim about corner lots. Yes, it's driveway is off the side street, and I did include it among the 4 lots above in fairness, HOWEVER it is smaller than our estate, it is not set as far back from Burleson as ours, and as such they do have a large half-moon driveway of decomposed granite that provides access from Burleson St to their front door without having to go up a huge hill and MUCH longer walkway that our house has. Doing something similar to 702 off of Burleson St. would be impractical and unsightly: our house is just too far set back.

So, If 702 isn't included in the numbers, that's 11 estates similar to ours, still 9 that have their driveway off the front street. 3 of those would be corner lots similar to ours, one of which does have a both a front and side driveway. The other 2, like I mentioned, their side streets are Quarry and Kasch, which originally **were** the front driveways and still operate as such given the very few lots on that street. Only our side street, Browne, is the one which also was originally the front driveway but then turned into a street which later connected to major streets and has become more dangerous than our own driveway off Burleson would be.

Finally I'd like to note that 3 is a pretty small sample size, statistically speaking, to accept/reject a driveway proposal on, especially given the historical data we have on how those streets were front driveways like ours.

Second Floor

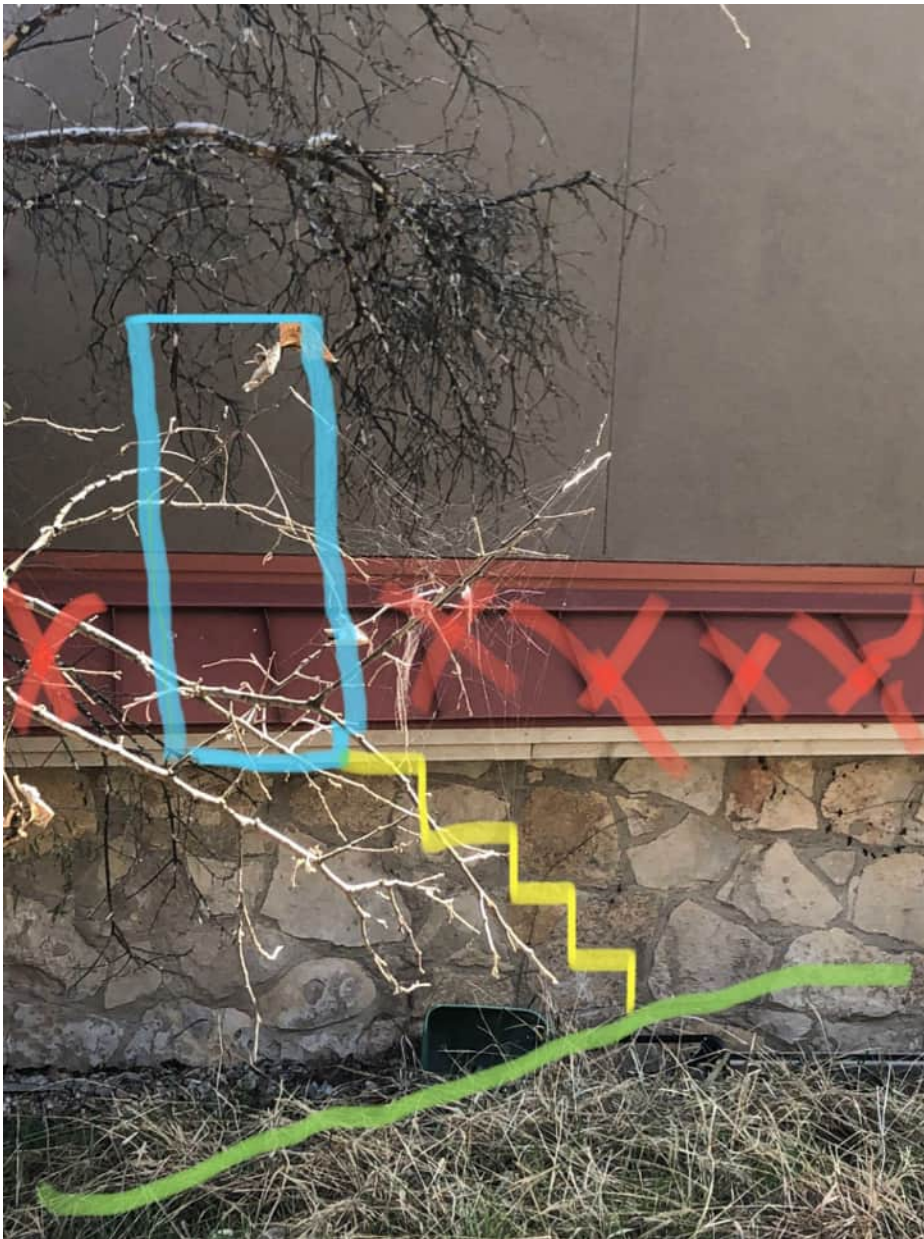


Area Calculations Summary

2346.19 Sq ft
 -42 Sq ft
 1255 Sq ft



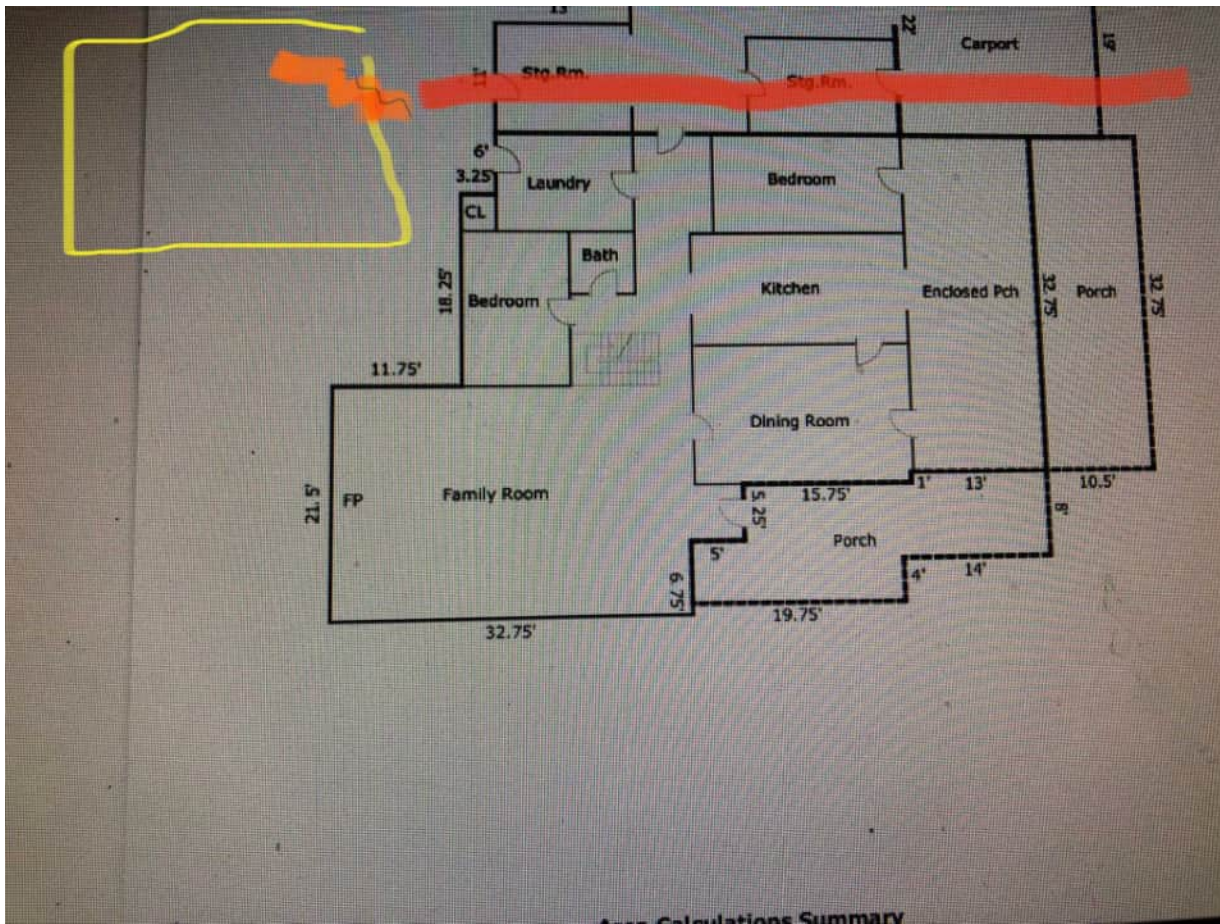
To visualize how far underground the garage will be, and how close the back door of the ADU will be to the ground below (undisturbed hill). Right now the old cellar is about 6 ft underground. Same hill as ADU will be built, same inclines. Like Zimmerman, we will be excavating into the hill to pour the foundation for the proposed structure.



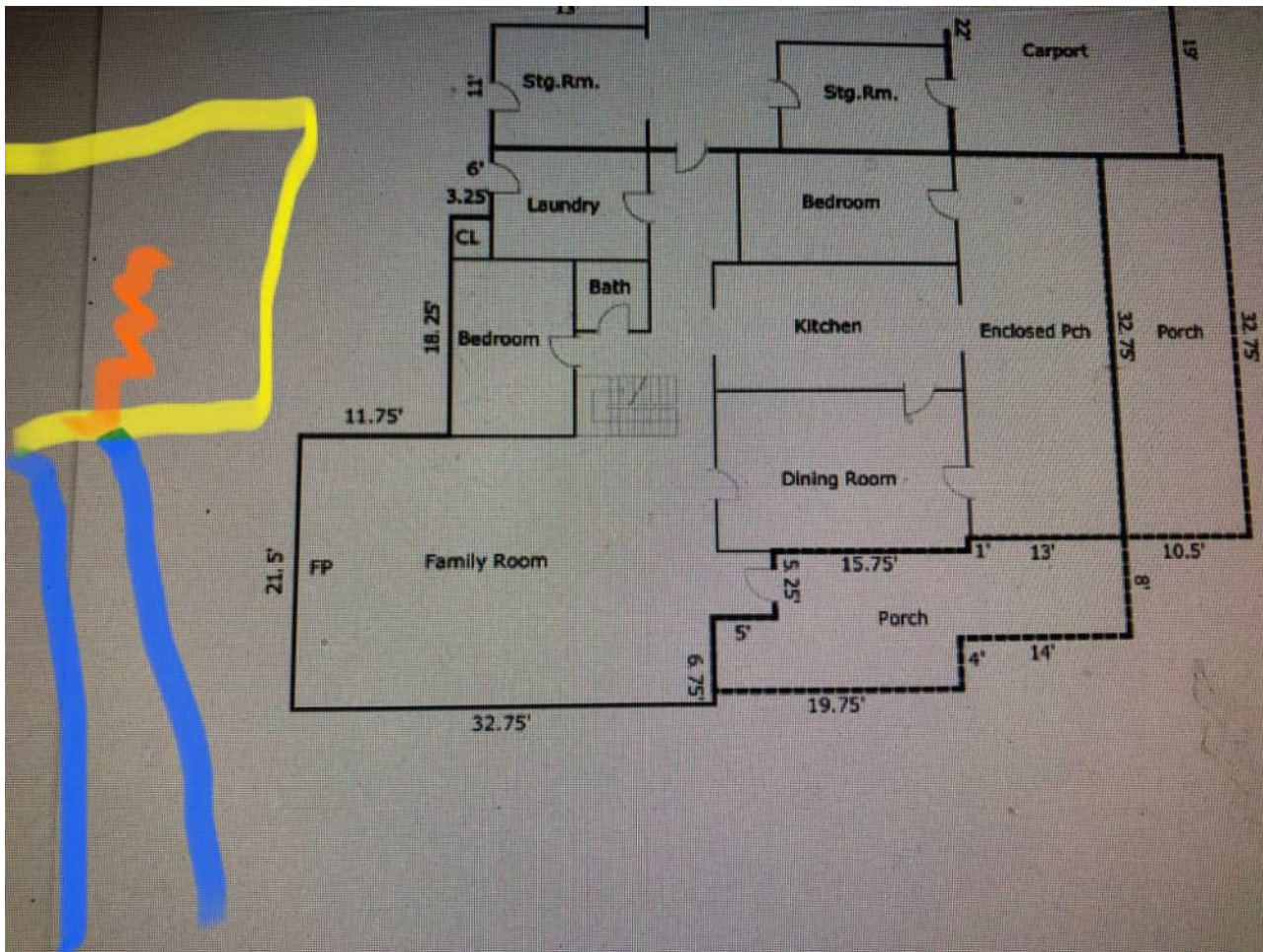
This is the back of our current house, to visualize close-up and in pictorial form what the back door of the ADU would look like (the Right elevation in plans). There won't be that little red roof, and the green is the incline from that part of the hill (right elevation). As you can see, the garage will be underground, blue represents the ADU's back door, and as you can see the stairs will be short given how far below grade the garage will be at that spot.



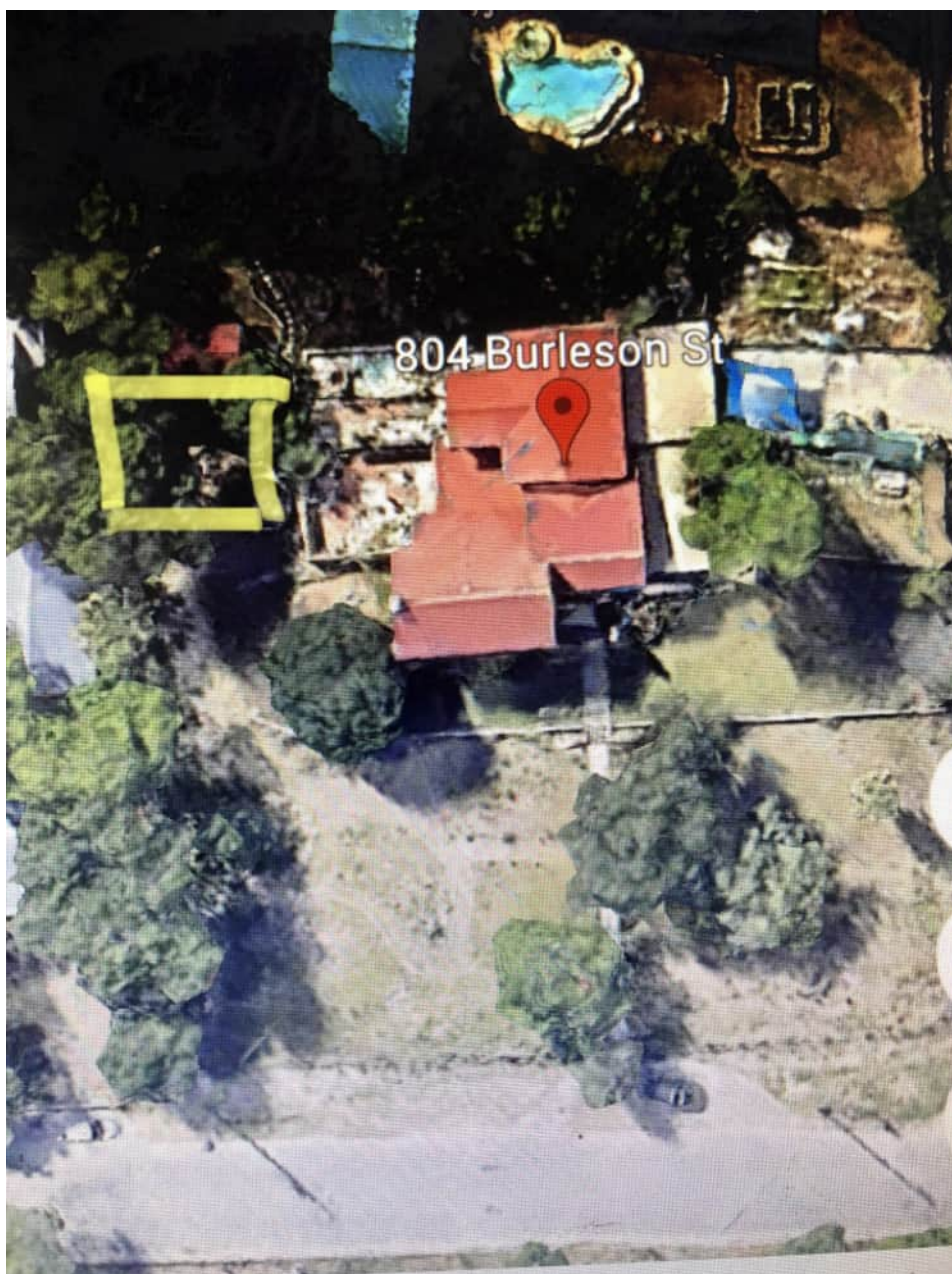
Tall corner with chimney is the right corner of our home, and lower courtyard pictured. Rock wall that connects from corner of living room to enclose lower courtyard, and from Burleson St looks part of original home and lends the look of an even larger length than the home's footprint (77.5 ft).



As requested, different entrance/exits of the ADU, incorporating the original house. Utilizing Browne Terrace Driveway, the red line represents the main way people would enter the ADU from the back of the property. On the red line, there are no stairs, the only stairs are what are proposed to the ADU, in orange (ADU is yellow), and it would be a short exterior stairway.



As requested, different entrance/exits of the ADU, incorporating the original house. Utilizing proposed new driveway from Burleson St. Blue line represents where the driveway would be. We'd park in the garage, and take the interior stairs (orange) up to the ADU. When the time comes, and if necessary, we'll likely install an electric stairlift for those interior stairs to get up to the ADU.



As requested, a more specific visual of what the ADU would look like. I can't see how anyone, given the sheer massiveness of the house, could mistake the garage/ADU for the main home. It is set back significantly, it is half length of the main home's footprint. Even though that roof on the right side isn't red, it's still living space. And a giant pecan tree is covering the attached shed roof shading the side porch that is attached to the former sunroom (now a living room).

Section C.1.2.3 Residential Buildings

- A.** Porches are frequently the most modified portion of a house. Returning a porch to its original design, when possible, will make a positive visual impact to the house and the neighborhood.
- B.** If a porch has been lowered, consider raising it to its original level.
- C.** If the original columns have been replaced with another material and design, consider replacing the columns with columns which are compatible with the original design and material.
- D.** If porches have been closed to provide additional space in the house, look for other locations for this space when remodeling.
- E.** If porches have been removed, consider reconstructing them.
- F.** Synthetic siding which has been applied over the original siding changes the character of the house. Consider removing the synthetic siding and restoring the original detail of the house.
- G.** When windows have been removed and placed with windows of a different material and proportion, consider replacing them with windows to match the original.

Section C.1.2.4 New Construction in Historic Districts

- 1.** As opportunities arise, new construction will take place in historic districts and this is to be encouraged in order to maintain a viable living community. However, new construction should follow the characteristics and guidelines outlined in this document.
- 2.** Respect and maintain the overall height of buildings in the immediate vicinity.
- 3.** Maintain the building relationship to the street. Set the new building back a distance equal to that of the surrounding structures and orient the new building in the same way.
- 4.** Maintain the established rhythm of the structural piers in the surrounding buildings, consider a similar rhythm, structural bay or width.
- 5.** Respect the overall proportion and form. Maintain the width to height relationship.

- 6.** Utilize floor heights common to adjacent buildings. Maintain the horizontal continuity of the elevations in commercial buildings.
- 7.** Roof forms and roof lines or cornices should be consistent in shape and detail.
- 8.** Maintain the solid-to-void pattern established in the window openings and follow the proportions established in these openings.
- 9.** Materials used in the construction of new buildings should reflect the period in which they are built but should respect the established scale of adjacent buildings.
- 10.** Construct garages and carports to the rear of the property, behind the face of the house.
- 11.** Orient garage doors away from the street when possible.
- 12.** Consider the density of a neighborhood when constructing new buildings on vacant or subdivided lots.
- 13.** Maintain the orientation of building entrances on a street.
- 14.** Construct additions to existing buildings that do not overpower the original building.
- 15.** Seek guidance and assistance early in a project. Look at options that will enhance the historic district and satisfy your needs.
- 16.** Avoid creating a false history when constructing new buildings. New buildings are new buildings and should not be confused with historic structures.

Section C.1.2.5 Priority Planning - Renovation Guidelines

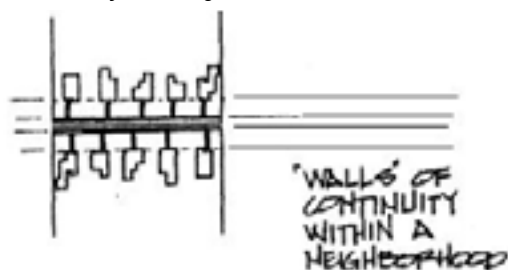
- A.** Evaluate the existing structure to establish the most important work to be completed.
- B.** What may be the most visible to the eye may not be the most important to the life of the building. For example, a new coat of paint for the front of the building will not do much to extend the life of the building if the roof is leaking badly.
- C.** Identify the “character defining” features of the building and relate their importance to the character of the street as well as the building itself.

inherent properties and dimensions of construction materials like brick and wood boards help in understanding the home's size, scale and proportion. Because stucco has no dimension, it is difficult to measure its relationship to the scale of a building. Tudor houses, for example are constructed mainly of brick and stone and because of the size and texture of these materials, the houses express mass with a rustic appearance.



CONTRASTING
MATERIALS
EMPHASIZE
DETAIL

- F. Walls of Continuity.** The front of each building, its walls, its porch alignment and even fences help define a “wall” that establishes a visual pattern along the streetscape. Each neighborhood has visual continuity, starting at the street which is basically a straight line of uniform width. A curb runs along the street defining the green space of the parkway followed by the sidewalk. Each of these elements work to organize a neighborhood. These organizational elements along with orientation and placement of houses on the lot establish the visual continuity of a neighborhood.



“WALLS” OF
CONTINUITY
WITHIN A
NEIGHBORHOOD

- G.** Due to the difference in lot size between the Belvin Street and San Antonio Street Districts, the visual continuity and rhythm are different. Each neighborhood has its own established organization which should be respected.
- H.** As changes are proposed to a site or house, review the lines of continuity and rhythm established in the neighborhood. Look at the scale, form and proportions of proposed changes. Will the proposed project retain and enhance the characteristics or will it create change?

Section C.3.2.5 Site Development and Orientation

- A.** The organization pattern established in each Historic District guides the development and proposed alteration of each site. Historic neighborhoods were designed to be pedestrian friendly since walking was a major mode of transportation. Houses face the street with a logical, visible entrance and a sidewalk that leads from the street to this entrance. Sidewalks from the street to the front door help establish rhythm.
- B.** There is an established distance from the street to the house, which is called a setback. This setback reinforces the importance of the entrance and orientation of the building. Building beyond this setback would change the visual continuity established.



Concrete ribbons leading to garage behind the house (921 W San Antonio St)



Front yard fence does not obscure the house (730 Belvin St)

- C.** Driveway approaches in the front yard lead to garages and secondary outbuildings, which are located behind the main house. Contemporary style houses have incorporated their garage or carports into their house plan, but typically they do not project beyond the established front wall of the house. While the construction of new garages and carports is

sometimes necessary, their placement and approach should respect the original “front line” of the house. This would place them behind the existing setback. Locating them to the rear of the property is preferable.

- D. Front yards are defined by sidewalks, yard curbs, short walls, boundary walls made of stone, brick, concrete or concrete block. These walls are low in profile and do not obscure the house. Front yard fences are not common in these neighborhoods, but there is evidence of historic fences in the Belvin Street Historic District.
- E. The following guidelines are recommended:
 1. Retain the orientation of the house to the street. To change the entrance from the front would alter the pedestrian approach and rhythm.
 2. Removing or relocating the sidewalk from the street would break the rhythm of the neighborhood. Broken sidewalks should be replaced but the location should remain. The material should match the original or should be compatible with the house and the surrounding neighborhood. Materials such as stone, concrete or brick pavers, and decomposed granite are appropriate replacement materials and are not as harsh as large expanses of concrete.



Strong pedestrian approach (220 N Johnson Ave)



Retain orientation of house to street (921 W San Antonio St)

3. Driveway locations should not be altered if it affects the rhythm of the street. Materials that might be used for a driveway are gravel, pea gravel with a brick or metal edge band, pavers, concrete strips or “ribbons” and asphalt. Front yard circular drives are not appropriate to the neighborhood because they encroach on the setback and break the rhythm on the street.
4. The style of the house and the surroundings should be considered when thinking of any type of front yard fence. For example, an ornate Victorian fence would look out of place in front of a Craftsman style house.
5. Review the reason for wanting to install a front yard fence. Did one exist historically? Houses constructed in the 1880s had front yard fences to keep livestock from roaming into the yard. Houses built in the 1920s had no fences in the front yard, which reflected a “progressive” movement when fencing laws reduced the chance for roaming livestock.
6. Can the fence be installed at or behind the setback line?

Section C.3.2.6 Modern Conveniences and Amenities

- A. Historic homes offer charm and character not always found in current residential construction. As families grow and residents grow older, needs change. Air conditioning is a welcome relief from the heat and humidity in San Marcos. Additional rooms and bathrooms may be necessary as children get older. Steps may become impossible to maneuver with age or a disability.

The installation of a “no-step entrance” or ramp can maintain or prolong ones independence and mobility.

- B.** Adapting a historic home for modern use, while maintaining the homes original character, requires thoughtful planning. Weigh the safety and comfort concerns with that of historical accuracy, economic feasibility and long term impact. Ask yourself “How can this improvement or necessity be installed or removed without causing irreparable damage to the historic character of the house or neighborhood”.
- C.** The following includes some of the commonly installed amenities and additions to historic properties:
 - 1.** Carefully consider access ramps for temporary or long term disability, and the location and impact of the ramp on the house and neighborhood. The removal of a small section of railing on the side of a porch may be more convenient and less intrusive than to the front of the house. If the porch is not elevated, consider replacing the sidewalk with an incline to eliminate steps at the porch or door.
 - 2.** Air conditioning and electrical equipment should be installed in such a way that it will not damage important architectural features. Study possible locations for the equipment and install it where it is least visible from the street or can be screened with planting material.
 - 3.** Antennas and satellite dishes are considered a removable fixture but with some thought can be sited away from public view.
 - 4.** Chimneys are an important architectural feature and the removal or alteration of existing chimneys alters the historical integrity of the house.
 - 5.** Decks and patios can be compatible with historic houses if thought is given to location, proportion and materials.
 - 6.** Dormers are important to the composition of the roof and should not be eliminated. Scale and form should be retained. New dormers may allow for additional use of the attic, but should be designed to match the style of the original house.
 - 7.** Flags and banners are considered a removable amenity but care should be used when mounting to not damage the historic materials of the house.
 - 8.** Light fixtures located on the building exterior, porches, pathways and paved areas should be appropriate in design, scale and character of the house. There are many available adaptations of fixtures in various architectural styles. A Victorian light fixture is appropriate with a Victorian house but not appropriate with a Ranch or Craftsman style house.
 - 9.** Mailboxes and mail slots should be simple and as unobtrusive as possible. Mailboxes can be obtained in styles compatible with the time period of the house.
 - 10.** Shutters may be installed if they are in keeping with the style of the house and the period of construction. Shutters should be correctly proportioned to the width and height of the window and should be installed with hinges rather than nailed to the wall.
 - 11.** Skylights can add light to interior spaces and may make attic spaces more useable. If flat in profile and positioned away from public view skylights can be installed in older houses. Bubble dome skylights are not appropriate.
 - 12.** Storm/screen doors and windows can be installed without hiding the historic door and surrounding features. Metal framed doors and window screens are acceptable if selected with a white factory finished or painted the color of the door and window trim. Wood storm/screen doors and windows designed for the style of the house can be purchased at most lumber yards.
 - 13.** Orient garages away from the primary view and install single car doors instead of double wide doors.
- D.** As you formulate your ideas to modify and improve your home, questions will arise. There are many sources available for advice and assistance including a neighbor who has completed a similar project, the Texas Historical Commission, City Staff and the National Trust for Historic Preservation. Helpful resources can be found on the City’s website.

RESPONSES IN OPPOSITION

February 22, 2023

Honorable Members of the San Marcos Historic Preservation Commission

Subject: 804 Burleson St. Thursday, March 2, 2023 public hearing for Certificate of Appropriateness **HPC 23-06**

Greetings,

We remain opposed to any additional living units and garages being constructed at 804 Burleson St. for the following reasons:

The owners were aware, when they purchased a home in an established historical neighborhood, that there are necessary regulations and standards that must be followed. Residents have worked long and hard to maintain structural architectural integrity and upkeep, lawns and gardens that are appealing to community and visitors alike and have followed the zoning laws of single family residential habitation. They have chosen to disregard all of this-

Their fence is not constructed as approved and is mostly in shambles.

They have chosen to create an unmaintained yard- in the name of a nature preserve- that has produced vermin and rats that have overrun our property and have added expense to the maintenance of rat boxes to control their problem.

They added a "playroom" over their carport that has become a residential area and they continue to rent the house, various rooms and the entire property for events and for lodgers. It is not conducive to a residential area where we value safety. I do not know if they are doing this legally at this time- they have not in the past.

They continue to burn trash in the city limits, build structures that have not been approved, attach lean-tos to neighboring properties and keep piles of debris everywhere. Neither safe nor sightly. Code enforcement has been called out numerous times, to no avail, our firefighters come often to extinguish their random fires. Our police respond for excessive noise and traffic.

Please put your eyes on the property, correct the problem and do not add to it- deny the Certificate of Appropriateness.

Thank you for your service- Kathy & Randall Morris- 802 Belvin St.

February 23, 2023

Honorable Members of the HPC

Subject: 804 Burleson Street

We are in opposition in regards to the additional garage and 1,000 foot living space that is being requested by the owners of 804 Burleson. They were granted permission to add on additional living space over their carport a few years ago and feel if they are allowed to add on more 'living' space now there will be yet another request down the road.

We believe since you are THE Historical Preservation Commission you SHOULD preserve the historical significance of our neighborhood.

Ms. Money mentioned cutting out the hillside to build the structure. If 'digging' into the ground to excavate they would assuredly hit rock, therefore requiring blasting. This would most definitely cause damage to the existing homes' foundations.

As 40 year residents of an historical neighborhood home, we have maintained our home and yard to meet the standards set forth by city code. Please don't diminish our persistence to follow the laws by granting this addition.

Regards,

Don Bagley, 736 Burleson Street

Stacy and Robert Clayton
807 Highland Terrace
San Marcos, TX 78666
02/28/2023

Historic Preservation Commission
RE: HPC-23-06
City of San Marcos
630 East Hopkins Street

Dear Historic Preservation Commission:

We are opposed to granting a Certificate of Appropriateness concerning HPC-23-06. In essence, this is the same request that was denied (HPC-22-30) in the January 5th, 2023 HPC meeting. The Zimmerman house and property has already been compromised by the carport addition and the illegally constructed falling-down fence around the front of the property that doesn't match the original. This additional structure will only take away from the historical nature of the property.

In referencing "The Secretary of the Interior's Standards for the Treatment of Historic Properties", the addition it is not recommended to:

1. Altering buildings and the features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished. (pg 51)
2. Altering those features of the setting which are important in defining the historic character. (Pg 54)
3. Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting. (pg 108)

We believe that the proposed building would fail these three recommendations and should not be built. Besides these points, there is inadequate parking for any more residents, a substantial extension to the rear of the home has already been built, and if it is used for temporary accommodations, as suspected, will further degrade the historic nature of the neighborhood.

Sincerely,

Stacy and Robert Clayton

March 2, 2023

I am Linda Coker, newly appointed Chair of the Hays County Historical Commission. I am writing to speak against Item 6, HPC-23—6 for 804 Burleson Street.

Have you happened to visit Hyde Park in Austin lately? It is over run with ADU's and no longer looks like the quaint beautiful neighborhood it once was. Now it is Air B&B's and party houses with the owners living in what once would have been the garage. It has ruined the look of the neighborhood, and I have been told by residents it has ruined the closeness that neighbors once had.

Mrs. Money has been here so many times and I am surprised that she still does not understand the neighborhood that she lives in. I supposed that the fact that she has requested permission is a step in the right direction. But what she is asking to do is not appropriate for the neighborhood. Adding another building to that property would add to the chaos that surrounds that property. It is already filled with temporary looking plastic green houses, a storeroom built with no permits, and old wore awnings faded and worn. It would be a mess.

Please have some consideration for you neighbors and respect for your own historic property and treat the property with the dignity it deserves.


Linda Coker

153 Tallow Trail

San Marcos, TX 78666



From the desk of:
Carl H. Deal III
PO Box 753
San Marcos, Texas 78666



February 27, 2023

Historic Preservation Commission
c/o Alison Brake
City of San Marcos
Planning and Engineering
630 East Hopkins Street
San Marcos, Texas 78666

Re: HPC 23-06

Hello Friends,

I'm sorry its long. This letter is an addendum to all public record documents, and/or electronic records provided to the City of San Marcos on this matter since June 3, 2017. On that date, the peace and tranquility of the Burleson Street Historic District, part and parcel of the Culture, Character, and Heritage of the same, took a rude and convincing turn to the dark side.

It was on that night that hundreds of people arrived in the neighborhood for a gigantic party at 804 Burleson Street. The house was full of Kegs, and people were dancing on the roof. The streets were full of cars backed up for blocks. The Police Department's switchboard lit up like a Christmas Tree fielding complaints from residents, near and far, about the monumental disturbance underway. The Police moved the masses along – where then, the house was left abandoned, open, with a load of kegs and a beer covered floor. No one accepted responsibility for the event. This historic home in a Historic District had been rented by the new owner who were not even present.

"June 4, 2017

Facebook Post: Well - I hope all you Burleson Street, Browne Street people who had to stay up and watch over your property last night after the phenomenally huge party at the old Zimmerman House..... will take the time to call the new owner and climb right into their ass!!!!"

There were countless complaints, arguments, raised tempers and anger – calls to elected officials, to the newspaper and more. It was this precipitous event that set in motion an understanding by the meaningful members of the Burleson Street Historic District that this house was being rented – week after week by an owner who wasn't even living there, and that the mission for the Preservation of the Culture, Character and Heritage of our neighborhoods was under assault.

The preservation of our historical heritage is a noble cause and if managed both professionally and responsibly can benefit our community. Historical architectural preservation is a visual, tangible link to our community's distinctive heritage and

unique story. San Marcos is especially fortunate to have such a wealth of historical structures, and an equal number of property owners who, on their own volition and investment, recognized the value of their historical property and have protected, restored, and maintained them.

Heritage tourism is among the fastest growing tourism segments in the nation, and San Marcos benefits from the revenues generated by this popularity. Like many other preservation-minded communities, San Marcos has designated historical landmarks and districts – which within, “the Culture, Character and Heritage” is to be protected. In 2020, the Historic Preservation Commission revised their Vision Statement from 2017 to read: *“Using the power of preservation to save our cultural landscape and living heritage, create a sense of place, and protect and promote the unique identity of San Marcos.”*

San Marcos is a historical Texas city with a rich history that tells the Story of Texas. But unlike a story in a book with finite pages, a living city’s story continues. We are not Williamsburg – a collection of buildings frozen in Amber – an architectural museum. None of us look as good as we did when we were twenty. The older we get, the more things go wrong and the more it costs to fix. Our Historical Districts are living neighborhoods – fine Victorians sit contently next to small bungalows several decades younger. Prairie style ramblers reside alongside mid-century style homes. Mansions rub shoulders with student housing, flop house, duplexes, cabins, garage apartments and barns.

All of us have a Constitutional Right to the reward of the full economic value, use and benefit of the home, business, or property we own – even if it falls inside of a Historic District. The City also has the right to create regulatory oversight in self-designated historic districts in an effort to preserve its heritage, economic value, quality of life, safety and character. Historic Preservation is well recognized as a valid consideration for economic development.

Preserving the Culture, Character and Heritage of a Historic District is not a wish. It is not a “hope so” or “wish you would”. The Historic Preservation Commission in partnership with the National Park Service have adopted the Secretary of the Interiors Standards for rehabilitation as the standards by which the preservation commission will review all work applications brought before it under the terms of the local historic preservation ordinance. In short – the standards for participation in the Preservation of the Culture, Character and Heritage of the Burleson Street Historic District is a “demand” People who can’t assimilate or demonstrate the concept are subject to mind numbing civil penalties.

Even with the authority that the commission wields, it seems sometimes that all the effort is for not - due in large part to the lack of follow through and meaningful prosecution. Our problem is not with the masses – the people who toil in their yards and homes with pride and vigilance - but with the squeaky wheel – the few outliers who have made a point to poke a stick into the craw of the Historic District.

It is not unlike having a drug dealer in the neighborhood – bringing the riffraff and danger that they pose to the collateral many. We all want our Police to be directing their resources right there – and not on the trash can left out for a weekend. The Commission must work closely and aggressively with the Code Enforcement Department, and with the expertise of the City Attorney's Office to exercise the vast lawful authority of the Commission which must at times be sternly applied on the most egregious of the lot to quell and calm the waters. Getting the answer that "we're waiting for case law", or "they won't let us do that" – is not the answer we want to hear.

Dangit - the illegal fence is falling down, but the dead palm trees have been in the street now for three years – right where they were dumped. Some of us I hear use 804 Burleson as evidence to protest property tax evaluations – and it works. Yes, it's appalling. And that is also what people say when they drive by and look. How many rats were raised in that unkept field all these years? Whose house do you suppose they nest in during the winter? And in the summer, do you think the same dry grassy thicket might pose a fire hazard? When you don't give a damn, its easy to notice.



For those of you who have some psychology background; when a grown ass woman Cries, Whimpers or Snivels when she doesn't get her way and then, throws down the "Victim Card", this has nothing to do with "Victimization", and everything to do with "Manipulation." It's the same psychology that would motivate a person to lie to and manipulate the press to get their way – or to weaponize the Press to malign or harm another. And alas, it is the same psychology that would motivate a person to commit a crime against, or act out in defiance against the Culture, Character and Heritage of a place and the people in it.

I am reminded of the time my name mysteriously appeared on a permit application for 804 Burleson Street. How peculiar. I got one of those HPC mailers and sure enough, there I was, trying to approve some project I knew nothing about. Planning put a stop to it when they realized I was just penciled in by the homeowner.

As you all should know, lying is a crime or moral turpitude. It is an indicator of moral corruption and depravity – and it's not fixable. When a person grows up in an environment where lying and manipulating others to get ahead is normal, it becomes a lifelong affair – and this isn't the kind of person you want running your store.

As the Historic District bannered its discontent – commencing on June 14, 2017 – complaints, meetings, legal maneuvers, newspaper articles, city council discussions, short term leasing discussions – the district recognized the emerging problem of the incompatible coexistence with a resident who had no interest in how their behavior and business acumen affected the Culture, Character or Heritage in a neighborhood in which they now lived.

These people constitute a “Public Nuisance”, and the City of San Marcos is duty bound to protect it's good citizens from the consequences caused by behavior, appearance, lack of hygiene, health and public safety concerns, or any conditions that substantially interferes with the use and enjoyment of our land by causing unreasonable discomfort or annoyance to persons of ordinary sensibilities. In other words, a nuisance is something that would annoy a reasonable person.

In conclusion: As I have prepared to write this, yet another letter, I am aware that some of my good neighbors have thoughtfully bowed out of this discussion from concern that they would be subjected to retaliation. I certainly understand their concern. These people have clearly retaliated against their neighbors, or anyone who they think are responsible for what has been sown by their own doing. They have accused their neighbors of poisoning their children, of flooding their house, of harassing them with the Police – and in my case, endangering their children with an empty pool.

I too was warned by two of my neighbors that had overheard these people saying that they would retaliate against me for holding them accountable. Donnie Bagley expressed his concern for my welfare and warned me to be weary of Kristy Money's intentions.

At the time, I was the owner of an adjacent property to these people. It was evident that some adult person, not a child – was opening the access gates to the pool, leaving them open, and reporting them to the Code Enforcement Department. There was a meeting among all the property tenants regarding this – and it was the considered belief by the tenants that it was the adjacent neighbor opening the gates. The pool had been closed since Hurricane Harvey disabled the Neutral on the City Transformer as well as 4 of 5 central air conditioning units. There was no reason for any tenant to use the pool deck as a thoroughfare. (Hurricane Harvey – August 27, 2017)

A surveillance system was installed comprising of two game cameras and three wireless i-cloud video cameras as well as a property wide wireless network.

Depicted below is a screen capture of Kristy Money of 804 Burleson Street on June 14, 2019 – wearing her kitchen apron - while trespassing on my property and doing her dirty work. Normally, this would not be the mode of egress to her trespass – which would be through a gate near the property line of 804 Burleson Street. Because Kristy Money was suspected of opening the pool gates, the lower gate was locked with a padlock and fortified – which

prohibited Kristy Money from entering or climbing over from that direction. She was then required to walk around the property on Burleson Street, to walk up the driveway of my property, walk beneath the pool deck to access the nearby gate.

Kristy Money would later be found to have trespassed on Donnie Bagley's property to collect "evidence" there, submitting pictures to the Code Enforcement Office – which could have only been acquired while committing the crime of trespass.

I will not read the Penal Code for you, but when you fabricate evidence which you then submit to an official proceeding, in which a normally innocent person is required to answer to the alleged evidence of guilt – it is a felony. In the afternoon of June 14, 2019, I was subjected to the accusation that my gates were found open, that my property was unsafe, in a meeting with the Code Enforcement Department. Weren't they surprised. I don't think I have been as mad as on this day in a very long time.



As I mentioned to the Commission in the most previous meeting, twice, these people have trespassed on my property and unlawfully seized my property without due process – essentially, building on my property and not their own. Most recently, they constructed a wooden deck affixed to and transgressing onto my wall, and positioned without any setback from the property line. So too, a t-post and wire fence fully constructed on my property, three feet inside the property line for the length of its exposure to the 804 Burleson Street boundary. Building without a setback, by the way; is something the Code Enforcement Department should be addressing and not my burden.



This letter and my previous letter are public record and there has been no effort to clear or remove the debris from my property. When they forthwith receive a legal order to do so, they will then also NOT remove it. I will have to do it with my chain saw and wire cutters – just like the last time.

In closing: The City Attorney who obstructed the efficient use of the law to preserve our neighborhood is gone. I am assured that the new City Attorney will do his job as well as his subordinate minions. For these people to come to the Commission for another chance to do the right thing – which they have skillfully demonstrated they cannot do – is preposterous.

There are too many carcasses on this property already that are still left undone. Before you approve any new project for these people, I encourage you to revisit every transgression past tense to ensure that appropriate prosecutorial measures were applied and penalties rendered – and only when there is a clear and convincing record of meaningful, supportive, Culture, Character and Heritage loving compliance should any new project be considered.

It is important that as you make these reasoned decisions that you take into consideration whether the general reputation of these people is GOOD or if it is BAD, if they are TRUSTWORTHY or if they are NOT TRUSTWORTHY, and if they are TRUTHFUL or if they are NOT TRUTHFUL. Yes, it's Damning!

Respectfully Submitted,
Carl H. Deal

Brake, Alison

From: Don Graham [REDACTED]
Sent: Tuesday, February 28, 2023 7:58 PM
To: Brake, Alison
Subject: [EXTERNAL] HPC-23-06 804 Burleson Street

Dear Members of the HPC:

Please accept this letter regarding the above referenced proposed Accessory Dwelling Unit to be added to 804 Burleson Street.

I have looked over the requested addition and improvements that are to be located on the western side of the site and are within 400 feet of our property. In reviewing the proposed plans I noticed that the square footage is actually 1,066 square feet and not 1,000 as disclosed. The fact that this addition is to consist of a 4 bedroom dwelling with a full kitchen, living room and 2 full bathrooms would actually classify as a separate living unit. The question I have will this unit be separately metered for electricity and water/waste water service or will it be connected to the existing service to the existing property? If it is separately metered it is not considered an accessory dwelling, but a separate dwelling sharing the same site with the current dwelling.

Also, the drawings provided do not show the recent addition of the second floor and conversion of the garage area into additional living area. According to Ms. Money this addition was to provide a playroom for her children, but according to Air BnB listings, this area is used by the Money's so they can utilize the original dwelling for short term rental purposes. Is the intent of the addition to provide additional rental units for short term rentals? Based on past history of the property, this appears to be the purpose of the new "ADU".

My prior experience as a Real Estate Appraiser in San Marcos and Central Texas for more than thirty years allowed me to review and appraise numerous properties with a similar design and function. The subject property meets the definition of a multifamily property and not that of an ADU.

Donald W. Graham
901 Highland Terrace
San Marcos, TX 78666

Sent from [Mail](#) for Windows

CAUTION: This email is from an EXTERNAL source. Links or attachments may be dangerous. Click the Report Phishing button above if you think this email is malicious .

Brake, Alison

From: Behnke, Andrew O [REDACTED]
Sent: Thursday, March 2, 2023 9:37 AM
To: Brake, Alison
Subject: [EXTERNAL] 804 Burleson Street Discussion Take 2

Dear Commissioners,

I attended the January 6th HPC meeting where this project was first discussed, and as a former HPC member and current rehabilitator of a historic home on Hopkins, I had a hard time with the committee's decision to flat-out deny their project. Especially considering when I saw many similar homes during my time on the committee approved with alterations. Even so, Ms. Money has re-applied and made all suggested changes you gave her at the meeting, so I am hoping that this time it will be approved. I personally can vouch for the many hours they have spent consulting with Alison Brake, myself, and local architects to do this project right.

I have known Kristy Money and Rolf Straubhaar for about four years and am one of their neighbors down the street. They both have PhDs and teach at Texas State as do I. These are two very community-minded and neighborly individuals that I think are doing amazing things for our community. They on many occasions have offered to help us out with garden and house projects and there have been times we have been able to return the favor.

I value what they are trying to do on their property. They are giving flavor to our neighborhood, and I know they have spent countless hours researching the history of this house and it's architecture. I do not see what they are doing to have any negative impact on surrounding neighbors or the overall neighborhood. Some of my neighbors on Hopkins Street who have seen their sign have said they think an ADU there is a good idea and they support it.

Best,

Andrew Behnke
816 W Hopkins St

Andrew Behnke, Ph.D., CFLE
Director of the School of Family & Consumer Sciences
Texas State University
601 University Drive | San Marcos, TX 78666
FCS 101 | 512-245-2135 | <http://www.fcs.txstate.edu>
Book a meeting with me: www.u.nu/andrew
I'm an Ally, join me!

"I've missed more than 9,000 shots in my career. I've lost almost 300 games. 26 times I've been trusted to take the game-winning shot and missed. I've failed over and over and over again in my life, and that is why I succeed."

—Michael Jordan

From: Brake, Alison <ABrake@sanmarcostx.gov>
Sent: Wednesday, February 9, 2022 8:16 AM
To: Behnke, Andrew O [REDACTED]; Marianne Monson [REDACTED]
Subject: RE: [EXTERNAL] Photos of house and proposed site

Thank you. And there is no fence along that property line that would shield it from view, correct?



Alison Brake, CNU-A

Historic Preservation Officer | Planning & Development Services
630 E Hopkins, San Marcos, TX 78666
512.393.8232

Please take a moment to complete the City of San Marcos [Customer Satisfaction Survey](#).

From: Behnke, Andrew O [REDACTED]
Sent: Tuesday, February 8, 2022 9:33 PM
To: Marianne Monson [REDACTED] Brake, Alison <ABrake@sanmarcostx.gov>
Subject: Re: [EXTERNAL] Photos of house and proposed site

We are R26216 and it is in the back left five feet from the fence.

Andrew Behnke, Ph.D., CFLE

*Director of the School of Family & Consumer Sciences
Texas State University*

601 University Drive | San Marcos, TX 78666
FCS 101 | 512-245-2135 | <http://www.fcs.txstate.edu>

Book a meeting with me: www.u.nu/andrew

I'm an Ally, join me!

"Now is the accepted time, not tomorrow, not some more convenient season". -W.E.B Du Bois

From: Marianne Monson [REDACTED]
Sent: Tuesday, February 8, 2022 6:37 PM
To: Brake, Alison <ABrake@sanmarcostx.gov>
Cc: Behnke, Andrew O [REDACTED]
Subject: Re: [EXTERNAL] Photos of house and proposed site

Sure, we'll work on that and send it over.

On Tue, Feb 8, 2022 at 4:07 PM Brake, Alison <ABrake@sanmarcostx.gov> wrote:

Do you have a copy of your survey that you can sketch out the location of the new shed on? A site plan would help tremendously.

Thanks,



Alison Brake, CNU-A

Historic Preservation Officer | Planning & Development Services
630 E Hopkins, San Marcos, TX 78666
512.393.8232

Please take a moment to complete the City of San Marcos [Customer Satisfaction Survey](#).

From: Marianne Monson [REDACTED]
Sent: Tuesday, February 8, 2022 5:59 PM
To: Brake, Alison <ABrake@sanmarcostx.gov>

Cc: Behnke, Andrew O [REDACTED]
Subject: Re: [EXTERNAL] Photos of house and proposed site

Thanks so much. We appreciate it!

On Tue, Feb 8, 2022 at 3:48 PM Brake, Alison <ABrake@sanmarcostx.gov> wrote:

Marianne,

I have received the application and photos. I can get the request on the March 3, 2022 agenda. I'll be in touch through the review process.

Thank you,



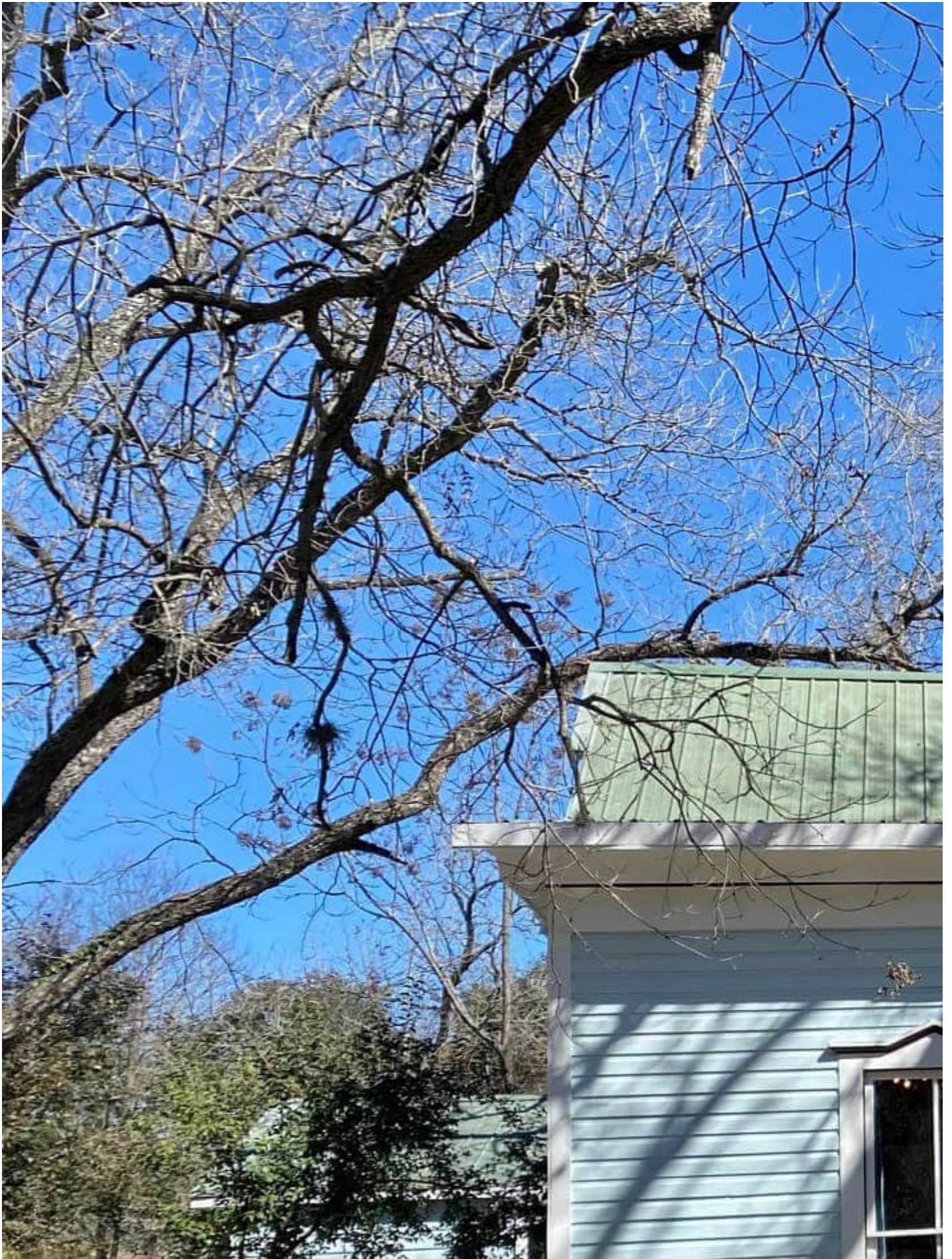
Alison Brake, CNU-A

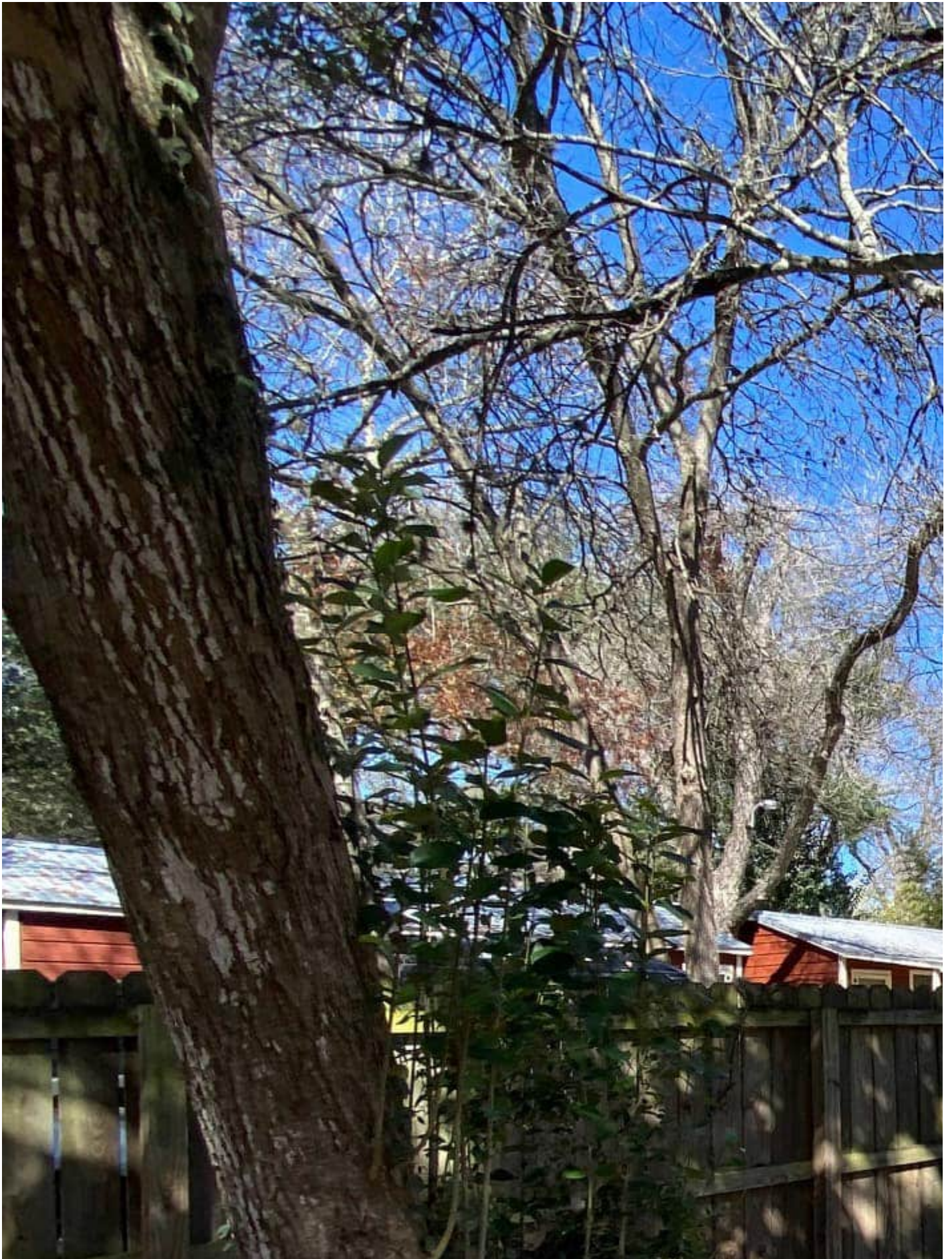
Historic Preservation Officer | Planning & Development Services
630 E Hopkins, San Marcos, TX 78666
512.393.8232

Please take a moment to complete the City of San Marcos [Customer Satisfaction Survey](#).

From: Marianne Monson [REDACTED]
Sent: Saturday, February 5, 2022 12:29 PM
To: Brake, Alison <ABrake@sanmarcostx.gov>; Andrew Behnke [REDACTED]
Subject: [EXTERNAL] Photos of house and proposed site

CAUTION: This email is from an EXTERNAL source. Links or attachments may be dangerous. Click the Phish Alert button above if you think this email is malicious .





Sent from my iPhone

--

"I know nothing in the world that has as much power as a word. Sometimes I write one, and I look at it until it begins to shine." Emily Dickinson



--

"I know nothing in the world that has as much power as a word. Sometimes I write one, and I look at it until it begins to shine." Emily Dickinson



CAUTION:. This email originated from outside the TXST network. Do not click links or download files unless you know the sender and content are safe.

CAUTION:. This email originated from outside the TXST network. Do not click links or download files unless you know the sender and content are safe.

CAUTION: This email is from an EXTERNAL source. Links or attachments may be dangerous. Click the Report Phishing button above if you think this email is malicious .

Brake, Alison

From: Betseygail Rand [REDACTED]
Sent: Tuesday, February 28, 2023 3:31 PM
To: Brake, Alison
Subject: [EXTERNAL] For All HPC Commission Members on 804 Burleson St. project

Dear Historical Preservation Commission,

I am writing in support of Rolf Straubbhaar and Kristy Money, at 804 Burleson, in their application for a garage ADU.

I have significant knowledge and history with this property, in the following way: First, before the Straubhaars moved to San Marcos, this property sat vacant for a long time. In 2016, my husband and I looked at this property, when we were considering moving.

While this property is extremely beautiful, it was hazardous and problematic for families. The biggest problem was that the roofline back then extended all the way to the ground. Children would easily have climbed onto the roof and quickly been two stories off the ground, over concrete. That was the dealbreaker for us, although there were other problems with the property then, as well.

My husband and I concluded that the property was not useful for a family, and was too big for child-free adults, and thus was likely to turn into a student rental.

In light of this, the Straubhaars have done a remarkable job turning the house into a family home. This is truly the spirit of a historical home - where new generations can be raised with a sense of continuity of past and present.

We first met the Straubhaars in 2018, but got to know them well when our children became best friends. Since then, I have seen them model the values and love that exemplify the very best of San Marcos. Early on, they built an addition to the house. From my perspective, this was urgent in order to fix the danger of the pre-existing roofline. The front of the house and back of the house can be flexibly united or not, but the front of the house is not a proper living space, as it lacks a kitchen, and does not qualify as an additional dwelling unit.

My understanding is that they are now planning for the eventual reality of aging parents, and want to build a garage ADU to accommodate them in the future. This is exactly why ADUs exist - so that multi-generational families can support each other and grow together. I've had a chance to look at the architectural renderings, and they look reasonable and consistent with the existing house.

I urge you to keep in mind the goal of a community: to build a strong support network of families helping to take care of each other. HPC is a wonderful emblem of community, as you all provide an essential bridge between the past and the future. I whole-heartedly encourage you to approve this ADU, which spans your mission so well.

Thank you for your time and consideration,
Betseygail Rand

CAUTION: This email is from an EXTERNAL source. Links or attachments may be dangerous. Click the Report Phishing button above if you think this email is malicious .

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: August, 2022



CONTACT INFORMATION

Applicant's Name		Property Owner	
Company		Company	
Applicant's Mailing Address		Owner's Mailing Address	
Applicant's Phone #		Owner's Phone #	
Applicant's Email		Owner's Email	

PROPERTY INFORMATION

Address of Proposed Work: _____

Historic District: _____ Tax ID #: R 27369

Legal Description: Lot _____ Block _____ Subdivision _____

Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (Use additional pages if necessary.)

AUTHORIZATION

Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.

I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.

Filing Fee \$0

Technology Fee \$13

TOTAL COST \$13


Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

APPLY ONLINE – WWW.MYGOVERNMENTONLINE.ORG/

PROPERTY OWNER AUTHORIZATION

I, _____ (owner name) on behalf of
_____ (company, if applicable) acknowledge that I/we
am/are the rightful owner of the property located at
_____ (address).

I hereby authorize _____ (agent name) on behalf of
_____ (agent company) to file this application for
_____ (application type), and, if necessary, to work with
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner: _____  _____ Date: _____

Printed Name, Title: _____

Signature of Agent: _____  _____ Date: _____

Printed Name, Title: _____

Form Updated October, 2019

AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.

Signature:  _____

Date: _____

Print Name: _____

Form Updated October, 2019

HPC-23-06

Detached Garage & ADU

Staff finds request consistent with the following:

- **Sections 4.5.2.1(I)(1)(a), 4.5.2.1(I)(1)(b), 4.5.2.1(I)(1)(e) 4.5.2.1(I)(1)(g) and 4.5.2.1(I)(1)(j):** San Marcos Development Code
- **Standards 1, 2, 3, and 9 :** Secretary of the Interior Standards for Rehabilitation

Staff finds request inconsistent with the following:

- **Sections 4.5.2.1(I)(1)(d) and 4.5.2.1(I)(1)(h):** San Marcos Development Code

Staff finds request neutral against the following:

- **Sections 4.5.2.1(I)(1)(c) and 4.5.2.1(I)(1)(f):** San Marcos Development Code
- **Standard 10:** Secretary of the Interior Standards for Rehabilitation



Date: 4/20/2023





-  Subject Property
-  Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 4/20/2023



Certificate of Appropriateness

HPC-23-08 (728 Viola Street)



Summary

Request:	Renovation of existing detached garage which will alter the pitch of the roof of the structure and replace the roofing material		
Applicant:	Daniel Garcia 728 Viola Street San Marcos, TX 78666	Property Owner:	Daniel Garcia 728 Viola Street San Marcos, TX 78666

Notification

Personal Mailing:	April 21, 2023	Posted Notice:	April 21, 2023
Response:	None as of the date of this report		

Property Description

Address:	728 Viola Street (See: Aerial Map)		
Location:	Corner of Alto Street and Viola Street		
Historic District:	Lindsey-Rogers	Contributing Structure	No
Date Constructed:	C. 1900	My Historic SMTX Resources Survey:	Low
National Register of Historic Places:	Not Listed	Recorded Texas Historic Landmark:	No
Building Description:	One-story, 2,424 square foot single-family residential structure		

My Historic SMTX Historic Resources Survey Summary

<u>X</u>	Low	Medium	High
Low priority properties are those that clearly lacked integrity, were significantly altered or deteriorated, or lacked overall architectural or historical significance. In addition, those resources not of historic age or vacant parcels were also evaluated as low priority and non-contributing.			
The database gives no style description to the structure but states the property includes a hipped metal roof and cresting, wood siding, and vinyl window, while noting that alterations appear to have taken place to facade and may include partially enclosed front porch. Additionally, the western end of facade may be an addition based on the roof ridge. Also noted is the historic age garage on site as well as the stone retaining wall at the front of the property. The database notes that the property merits further research to determine extent of the alterations. The property does not show up on any Sanborn Maps. (See: Historic Resources Survey Inventory Table)			

Certificate of Appropriateness

HPC-23-08 (728 Viola Street)



Current Request

The applicant is proposing to renovate the existing detached garage which will alter the roof pitch of the structure. It is currently considered an "A" frame structure that includes a lean-to pitch. The new pitch of the roof will be a single "A" frame. The lean-to will then become a covered area adjacent to the garage bay and will allow the applicant to utilize the existing footprint of the structure and incorporate covered storage space while not enlarging the structure. Where siding material is deteriorated, the applicant plans on replacing it with matching pine material and will utilize the same wooden board and batten style as what currently exists. The applicant is also proposing to replace the existing corrugated metal roofing material with a type of metal roofing material that looks similar to corrugated metal called R panel metal roofing. It is the current roofing material for the main structure. The gabled roof style will not change with the remodel.

Please refer to attached documents for architectural renderings and photos provided by the applicant of the area of alteration. The rear elevation of the structure shown in the renderings cannot be seen from the right-of-way and therefore was not included in the review.

My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<u>No Affect</u>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <i>Approval of the request would not affect the activity noted above.</i>
<u>N/A</u>	For Historic Districts, compliance with the Historic District regulations
<u>No</u>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <i>The property owner will not suffer an extreme hardship.</i>
<i>See Analysis Below</i>	The construction and repair standard and guidelines cited in Section 4.5.2.1

Certificate of Appropriateness

HPC-23-08 (728 Viola Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
<u>X</u>			a. <u>Height</u> . The height of a proposed building shall be visually compatible with adjacent buildings. <i>The existing structure's height is proposed to remain the same.</i>
<u>X</u>			b. <u>Proportion of Building's front Facade</u> . The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related. <i>The footprint of the existing structure is proposed to remain the same.</i>
		<u>N/A</u>	c. <u>Proportion of openings within the facility</u> . The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related.
<u>X</u>			d. <u>Rhythm of solids to voids in front Facades</u> . The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related. <i>The garage bay will remain in the same location, keeping the void in the same location as it has been for years.</i>
<u>X</u>			e. <u>Rhythm of spacing of Buildings on Streets</u> . The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related. <i>The footprint of the existing structure is proposed to remain the same.</i>
<u>X</u>			f. <u>Rhythm of entrance and/or porch projection</u> . The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related. <i>The front of the existing structure will not change. The garage bay will remain on the right-hand side and will not extend any closer to the street as what currently exists.</i>

Certificate of Appropriateness

HPC-23-08 (728 Viola Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
<u>X</u>			<p><u>g. Relationship of materials, texture, and color.</u> The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related.</p> <p><i>The applicant is proposing to repair severely deteriorated siding with similar wood material while retaining the board and batten style siding and will be replacing the metal roofing material with a material that matches the existing home.</i></p>
<u>X</u>			<p><u>h. Roof shapes.</u> The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.</p> <p><i>While the roof shape of the structure is changing, the existing peak of the roof is moving from the right side of the structure to the center of it. It will remain a gabled roof.</i></p>
		<u>N/A</u>	<p><u>i. Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p>
<u>X</u>			<p><u>j. Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p> <p><i>The footprint of the existing structure is proposed to remain the same. The structure will not increase in size.</i></p>
<p><i>See Attached Historic District Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><i>See attached Sections C.3.2.6, C.3.3.3, C.3.3.6, C.3.4.2, C.3.4.5, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></p>

Certificate of Appropriateness

HPC-23-08 (728 Viola Street)









Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.</p> <p><i>The property will continue to be used as a single-family residence with the existing structure to remain a detached garage.</i></p>
<u>X</u>			<p>2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.</p> <p><i>The applicant is proposing to retain the character defining board and batten siding style.</i></p>
<u>X</u>			<p>3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</p> <p><i>Addition of a covered area adjacent to the garage bay will allow the property owner to modernize and continue to use the structure without adding conjectural features.</i></p>
<u>X</u>			<p>4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.</p> <p><i>The applicant is proposing to utilize the existing historic age structure rather than demolish it and build new.</i></p>
<u>X</u>			<p>5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</p> <p><i>The applicant is proposing to retain the character defining board and batten siding style.</i></p>
<u>X</u>			<p>6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</p> <p><i>The applicant is proposing to repair severely deteriorated siding with wood while retaining the board and batten style siding. Additionally, roofs are the one part of a house, which may need to be replaced rather than repaired.</i></p>

Certificate of Appropriateness

HPC-23-08 (728 Viola Street)



Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
<u>X</u>			9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. <i>The distinctive board and batten style siding is proposed to remain and be repaired where deteriorated. Additionally, the massing of the structure will remain the same as no enlargement is proposed.</i>
<u>X</u>			10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. <i>The historic form of the building will not be impaired. Should a new property owner wish to reconstruct the structure as it exists today, they could do so using photographs.</i>

Local Id# / Image	Address	Current Name/ Historic Name	Current Function/ Historic Function	Stylistic Influence/ Historical Context	Construction Date	Existing Designation	Eligibility	Priority
R125982 	714 VIOLA ST SAN MARCOS		Domestic	National Folk	ca. 1910	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Lindsey-Rogers Local Historic District								
R125981 	722 VIOLA ST SAN MARCOS		Domestic	Craftsman	ca. 1920	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Lindsey-Rogers Local Historic District								
R32115 	725 VIOLA ST SAN MARCOS		Domestic	Minimal Traditional	ca. 1950	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Lindsey-Rogers Local Historic District								
R32108 	728 VIOLA ST SAN MARCOS		Domestic	No Style	ca. 1900	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: Yes Non-contributing	Low
Lindsey-Rogers Local Historic District								
R42621 	605 VIRGINIA ST SAN MARCOS		Domestic	Minimal Traditional	ca. 1945	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: No	Low
R11692 	117 W GROVE ST SAN MARCOS		Domestic	No Style	1920	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: No	Medium

THIS IS THE PROPERTY OF
PLANS BY DESIGN AND NOT
TO BE REPRODUCED OR
COPIED WITHOUT THEIR PERMISSION

SYMBOL LEGEND

- ② Door Size @ 6'-8" Tall U.N.O.
- ↑↑↑ Shower Head @ 84" a.f.f.
- ↑+HB Hose Bib @ 24" a.f.f.
- Water Line
- Gas / Propane Line

Rafters Refer to IRC Tables

GENERAL FRAMING NOTES:

The following notes are suggested minimum requirements only. Due to a variance of codes per region, please refer and comply with all your local codes. Consult with local engineers for all structural requirements.

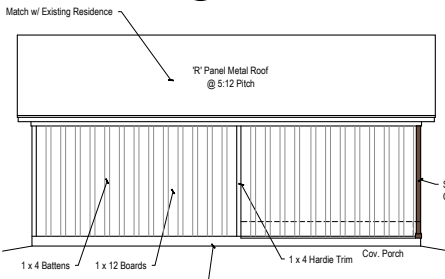
- All windows will be dimensioned to rough openings unless otherwise noted.
- 6'-8" window header height Typ. unless noted otherwise.
- Weather strip attic access door.
- Provide purlins at mid height of all walls.
- All joints and rafters shall be aligned over studs below.
- All headers shall be 2-2x6's with 1/2" plywood flitch plate unless otherwise noted.
- Framer to install double floor joists under partition wall parallel to joist direction.
- All columns or solid framing shall extend down thru all levels and be supported by a thickened slab, grade beam, or footing designed to carry load.
- Provide double 2x8 strongback at mid span for ceiling joists with spans greater than 10'-0".
- Provide collar ties at upper 1/3 of vertical distance between ridge board and ceiling joists at 4'-0" o.c. max.
- Hip, valley rafters, and ridge boards shall be "2x" size larger than rafters.
- Contractor to provide a 34" plywood catwalk from attic access to HVAC units (if applicable). Units to be located within 20'-0" from access.
- Roof decking shall be 5/8" CDX plywood minimum.
- All basement walls, beams, and columns to be designed by local structural engineer and meet all local codes.
- All framed wall dimensions are based on 2x4 studs unless otherwise noted.
- Use ridge and soffit vents for attic ventilation as noted.
- Provide control and expansion joints as required on concrete drives, walks and patios.
- Floor truss area to be draft stopped where trusses open to attic space.
- All trims and finishes per owner and contractor specifications.
- If any changes are made it will be accordance owner's and builder's mutual agreement.
- "R" panel metal roof with main roof @ 5:12 roof pitch.
- Low-E insulated windows.
- Review and determine location of Mechanical System in attic prior to construction.
- Wood posts in porch columns are treated lumber.
- See sheet 1 for exterior notes.

RAFTER LENGTH CHART		
Roof Pitch		Factor
3 / 12		1.05
4 / 12		1.07
5 / 12		1.10
6 / 12		1.14
7 / 12		1.17
8 / 12		1.20
9 / 12		1.25
10 / 12		1.30
11 / 12		1.35
12 / 12		1.40
14 / 12		1.54
16 / 12		1.70

Multiply horizontal span of member by factor.
Choose appropriate factor by roof pitch.

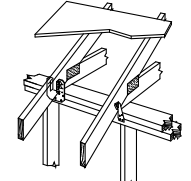
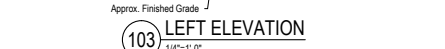
105 ROOF PLAN

1/4"=1'-0"

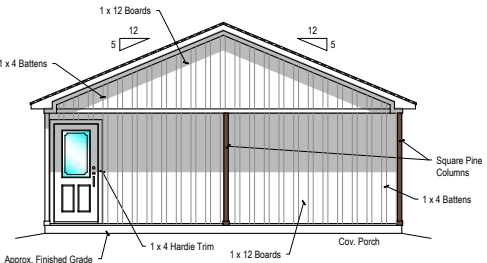


103 LEFT ELEVATION

1/4"=1'-0"

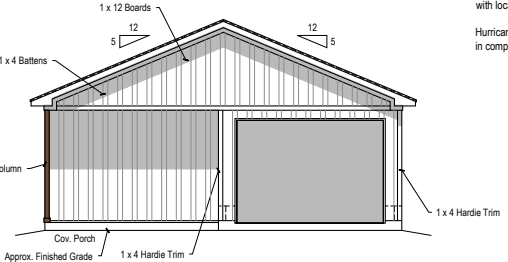
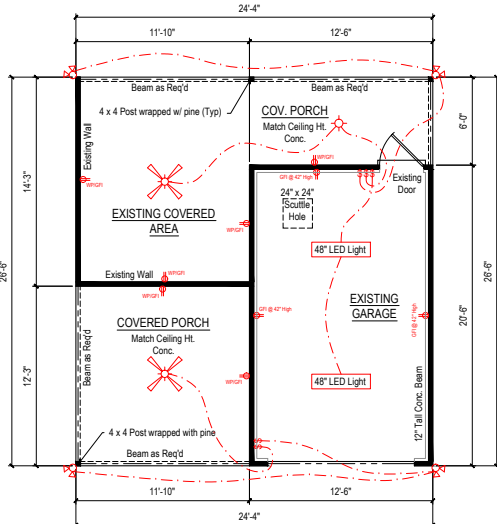


OPTIONAL: Simpson Strong-Tie Detail Truss and Rafter Connections to Wood Top Plates



102 REAR ELEVATION

1/4"=1'-0"

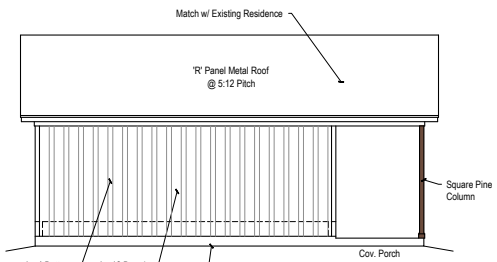


101 FRONT ELEVATION

1/4"=1'-0"

HIP / VALLEY CONVERSION					
If common rafter roof pitch is:			Then hip / valley rafter roof pitch becomes:		
Rise / Run	Slope		Rise / Run	Slope	
1 / 12	5°		1 / 17	3°	
2 / 12	10°		2 / 17	7°	
3 / 12	14°		3 / 17	10°	
4 / 12	18°		4 / 17	13°	
5 / 12	23°		5 / 17	16°	
6 / 12	27°		6 / 17	19°	
7 / 12	30°		7 / 17	22°	
8 / 12	34°		8 / 17	25°	
9 / 12	37°		9 / 17	28°	
10 / 12	40°		10 / 17	30°	
11 / 12	42°		11 / 17	33°	
12 / 12	45°		12 / 17	36°	

Conversion chart for simple roofs only.
Chart DOES NOT apply for Dual Pitched Roofs.



104 RIGHT ELEVATION

1/4"=1'-0"

2 x 6 rafters @ 24" o.c. #2 grade spy.

Struts, collar ties, purlins and strong backs to be installed in compliance with local code.

Hurricane straps & clips to be installed in compliance with local code.

IF THIS STAMP IS NOT RED IT IS AN ILLEGAL SET OF PLANS
REPRODUCTION OF THESE PLANS BY ANY PERSON IS PROHIBITED BY FEDERAL LAW. VIOLATORS ARE PUNISHABLE BY LAW. THE DESIGNER TO OBTAIN LEGAL COPIES OF THESE PLANS.
PLANS BY DESIGN

GARAGE:	256
COV. PORCHES:	389
TOTAL SLAB:	645

These working drawings are not to be scaled. Verify all notes and measurements before proceeding with any work or ordering any materials. Report any discrepancies to the architect or engineer.

These drawings and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

These drawings, and the design they describe, are copyright protected materials. Plans by Design reserves all rights. No part of these drawings is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Plans by Design.

PLANS BY DESIGN
4897 Old Goliad Rd.
Victoria, TX 77905
Cell: 361.564.4929
plansbydesignvictoria@gmail.com
Webpage:
plansbydesign-victoria.com

4897 Old Goliad Rd.
Victoria, TX 77905
Cell: 361.564.4929
plansbydesignvictoria@gmail.com
Webpage:
plansbydesign-victoria.com

4897 Old Goliad Rd.
Victoria, TX 77905
Cell: 361.564.4929
plansbydesignvictoria@gmail.com
Webpage:
plansbydesign-victoria.com

FLOOR PLAN / ELEV. / ELEC.
for MR. & MRS. DAN GARCIA

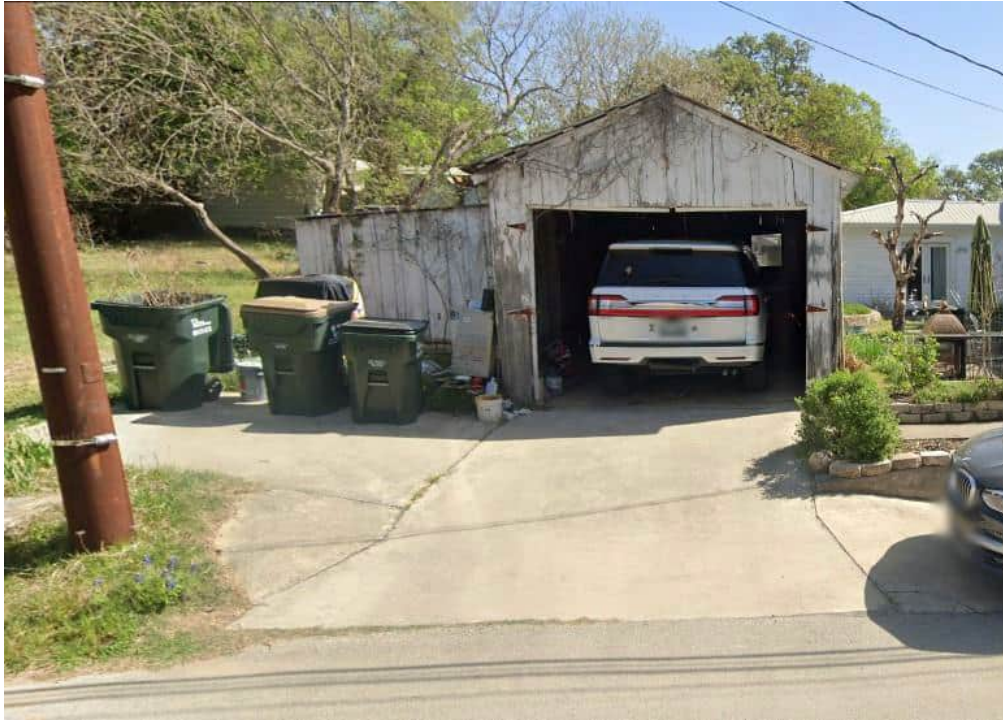
DAN GARCIA
CLIENT: Mr. & Mrs. Dan Garcia
DESIGNER: D. REISSIG
DATE: 02/25/22
SCALE: 1/4"=1'-0"

REVISIONS:
1 04/23/20
2 02/26/23

JOB NO. 1111

SHEET NO. 1

HPC-23-08 Area of Alteration Photos (submitted by applicant)



Google Street View of Existing Structure



Close up of Existing Garage Structure



Area that will be covered porch space following renovation



Side façade of structure



Side façade of structure looking toward Alto Street



Rear and side façade looking towards rear of home



Rear of structure not visible from the right-of-way

sometimes necessary, their placement and approach should respect the original “front line” of the house. This would place them behind the existing setback. Locating them to the rear of the property is preferable.

- D. Front yards are defined by sidewalks, yard curbs, short walls, boundary walls made of stone, brick, concrete or concrete block. These walls are low in profile and do not obscure the house. Front yard fences are not common in these neighborhoods, but there is evidence of historic fences in the Belvin Street Historic District.
- E. The following guidelines are recommended:
 1. Retain the orientation of the house to the street. To change the entrance from the front would alter the pedestrian approach and rhythm.
 2. Removing or relocating the sidewalk from the street would break the rhythm of the neighborhood. Broken sidewalks should be replaced but the location should remain. The material should match the original or should be compatible with the house and the surrounding neighborhood. Materials such as stone, concrete or brick pavers, and decomposed granite are appropriate replacement materials and are not as harsh as large expanses of concrete.



Strong pedestrian approach (220 N Johnson Ave)



Retain orientation of house to street (921 W San Antonio St)

3. Driveway locations should not be altered if it affects the rhythm of the street. Materials that might be used for a driveway are gravel, pea gravel with a brick or metal edge band, pavers, concrete strips or “ribbons” and asphalt. Front yard circular drives are not appropriate to the neighborhood because they encroach on the setback and break the rhythm on the street.
4. The style of the house and the surroundings should be considered when thinking of any type of front yard fence. For example, an ornate Victorian fence would look out of place in front of a Craftsman style house.
5. Review the reason for wanting to install a front yard fence. Did one exist historically? Houses constructed in the 1880s had front yard fences to keep livestock from roaming into the yard. Houses built in the 1920s had no fences in the front yard, which reflected a “progressive” movement when fencing laws reduced the chance for roaming livestock.
6. Can the fence be installed at or behind the setback line?

Section C.3.2.6 Modern Conveniences and Amenities

- A. Historic homes offer charm and character not always found in current residential construction. As families grow and residents grow older, needs change. Air conditioning is a welcome relief from the heat and humidity in San Marcos. Additional rooms and bathrooms may be necessary as children get older. Steps may become impossible to maneuver with age or a disability.

The installation of a “no-step entrance” or ramp can maintain or prolong ones independence and mobility.

- B.** Adapting a historic home for modern use, while maintaining the homes original character, requires thoughtful planning. Weigh the safety and comfort concerns with that of historical accuracy, economic feasibility and long term impact. Ask yourself “How can this improvement or necessity be installed or removed without causing irreparable damage to the historic character of the house or neighborhood”.
- C.** The following includes some of the commonly installed amenities and additions to historic properties:
 - 1.** Carefully consider access ramps for temporary or long term disability, and the location and impact of the ramp on the house and neighborhood. The removal of a small section of railing on the side of a porch may be more convenient and less intrusive than to the front of the house. If the porch is not elevated, consider replacing the sidewalk with an incline to eliminate steps at the porch or door.
 - 2.** Air conditioning and electrical equipment should be installed in such a way that it will not damage important architectural features. Study possible locations for the equipment and install it where it is least visible from the street or can be screened with planting material.
 - 3.** Antennas and satellite dishes are considered a removable fixture but with some thought can be sited away from public view.
 - 4.** Chimneys are an important architectural feature and the removal or alteration of existing chimneys alters the historical integrity of the house.
 - 5.** Decks and patios can be compatible with historic houses if thought is given to location, proportion and materials.
 - 6.** Dormers are important to the composition of the roof and should not be eliminated. Scale and form should be retained. New dormers may allow for additional use of the attic, but should be designed to match the style of the original house.
 - 7.** Flags and banners are considered a removable amenity but care should be used when mounting to not damage the historic materials of the house.
 - 8.** Light fixtures located on the building exterior, porches, pathways and paved areas should be appropriate in design, scale and character of the house. There are many available adaptations of fixtures in various architectural styles. A Victorian light fixture is appropriate with a Victorian house but not appropriate with a Ranch or Craftsman style house.
 - 9.** Mailboxes and mail slots should be simple and as unobtrusive as possible. Mailboxes can be obtained in styles compatible with the time period of the house.
 - 10.** Shutters may be installed if they are in keeping with the style of the house and the period of construction. Shutters should be correctly proportioned to the width and height of the window and should be installed with hinges rather than nailed to the wall.
 - 11.** Skylights can add light to interior spaces and may make attic spaces more useable. If flat in profile and positioned away from public view skylights can be installed in older houses. Bubble dome skylights are not appropriate.
 - 12.** Storm/screen doors and windows can be installed without hiding the historic door and surrounding features. Metal framed doors and window screens are acceptable if selected with a white factory finished or painted the color of the door and window trim. Wood storm/screen doors and windows designed for the style of the house can be purchased at most lumber yards.
 - 13.** Orient garages away from the primary view and install single car doors instead of double wide doors.
- D.** As you formulate your ideas to modify and improve your home, questions will arise. There are many sources available for advice and assistance including a neighbor who has completed a similar project, the Texas Historical Commission, City Staff and the National Trust for Historic Preservation. Helpful resources can be found on the City’s website.



Porches may be closer to ground (220 N Johnson Ave)

Section C.3.3.3 Exterior Wall Surfaces

- A. The most common exterior wall material in the San Marcos Residential Historic Districts is horizontal wood siding of numerous profiles. Brick, stone, stucco and asbestos shingles were also used as the original wall surface material on some houses. Other siding materials found in the districts include decorative wood shingles which are frequently seen on gable end walls and on turrets. Board and batten siding, which is a vertical wood siding, is common for outbuildings.
- B. The original siding material is still in place and visible on the majority of homes in the neighborhoods. However, some of the houses have been covered with brick, stucco or synthetic sidings such as asbestos, vinyl or aluminum.
- C. The following guidelines are recommended:
 1. The exterior wall surface material is an integral part of the original design, style and character of the house.
 2. Each material requires different types of maintenance, which can be referenced in the residential building materials section of this document.
 3. It is important to retain the original wall surface because of the character of its dimension, profile and shadow lines to each distinctive material.
 4. If the building was constructed with wood siding and needs repairs or board replacement, most siding types are still manufactured and available from suppliers or can be milled for a nominal set up fee. Many of the wood sidings have been on the houses for nearly one hundred years and

may well last another hundred if properly maintained and painted.

5. For the integrity of the neighborhood and the house itself, it is not recommended that any synthetic siding be installed over existing wood siding. The installation of synthetic siding changes the appearance of the house and conceals the original details. Additionally, synthetic sidings trap moisture in the wall causing deterioration of the historic material beneath.
6. A property owner is not required to remove synthetic siding from a house which currently has such siding installed. However, the removal of newer siding or wall surface material and the repair of original siding and trim is encouraged. This would help return a building to its original character.



Horizontal wood siding is the most common exterior wall surface (716 W Hopkins St)



Retain original wall surface to retain character (727 W Hopkins St)

Section C.3.3.6 Roof Form and Details

- A.** Roof forms and materials are an important feature in defining the character of the house and neighborhood. House styles and periods of construction influence the form of the roof. The simple gable roof form is found on Folk Victorian, Craftsman and contemporary styles such as Ranch. More complicated roof structures include a combination of hip, gable, dormers, turrets, towers and are found on Victorian style houses.
- B.** The shape and slope of a roof has a significant impact on how the building addresses the street. A gable roof which faces the street has a stronger presence and is more inviting than a gable roof that runs parallel to the street. In the case of the latter, the roof is sloping away from the viewer. The amount of slope, also known as the roof pitch, reflects the style of the house. Steep pitches are found on Victorian and Tudor styles, while lower pitched roofs are found on Ranch and Craftsman style houses.
- C.** Roofs are the one part of a house, which may need to be replaced rather than repaired. Roof repairs are often temporary and a new roof will be necessary at some point in the future. A roof leak may actually be a “flashing” leak around a chimney or vent pipe. Flashing is usually a metal material intended to seal the joint where the roof might have openings, such as vents, or connections to another part of the roof such as a dormer. For historical accuracy, replace the deteriorated roofing with a material that matches the original in composition and profile. A non-original roof that does not leak is better than an original roof that does. However, select an alternative that closely resembles the type of roof that might have been on another house constructed during a similar time period. In San Marcos it is not uncommon for one house to have multiple roofing materials. As roofing materials have deteriorated, they have been replaced with alternative materials. A house may have a standing seam roof on one portion and composition shingle on another.
- D.** Roof details vary from style to architectural style. Truly ornate details, such as consoles and dentils appear at the roof line of some Neoclassical and Victorian examples while very few roof detail appears on modest Victorian and Tudor styles. The one feature which appears on houses of all historic styles is the dormer. Dormers appear in different sizes, shapes and materials. Some have windows while others have attic vents but they help to provide visual continuity to the neighborhood and scale to the roof.
- E.** A variety of roofing materials have been installed in San Marcos. Composition shingle is the most common, economical roofing material. There are a variety of metal roofing materials installed, including historic standing seam metal to pre-furnished corrugated metal sheets. Clay tile is a character and style defining material with only one example in the Belvin Street Historical District. Several houses are covered with asbestos shingles or tiles which are no longer manufactured. These shingles have a distinctive dimension and profile and should be retained if possible. If replacement is necessary, there are composition shingles and concrete tile which closely replicate the asbestos material in pattern and profile. Another consideration might be to reinstall unbroken shingles to the roof which faces the street and install a composition roof of similar color to the less visible portions of the house. While asbestos shingles do not pose an environmental or health threat while used as a roof material, their disposal will be subject to special consideration. Check with local authorities for proper disposal sites.
- F.** The following guidelines are recommended:
1. Maintenance of the roof and flashing is important. In the event replacement is necessary, select a roofing material that is compatible to the design of the house.
 2. Maintain the original details of a house and avoid adding details that did not exist originally.
 3. If attic space is converted to living space, retain the original roof pitch when adding dormers and roof additions to avoid a “pop-up” appearance.
 4. Maintain the flashing where the roof meets the wall.

remove some stains. Consult a knowledgeable contractor or the Texas Historical Commission for more information.

6. Avoid installing brick or block where these materials were not originally used.
7. Avoid installing brick on the walls of a house that originally had wood siding. To install brick over wood siding changes the character of the house and can destroy the wood beneath.



Brick with stone accents (727 W Hopkins Street)



Brick used in sidewalk (716 Belvin St)



Rough faced concrete block (1024 W San Antonio St)

Section C.3.4.2 Metal

- A. The primary use of metal on historic residential homes in San Marcos was as a roofing or roof related decoration such as cresting and weathervanes. Standing seam metal roofing, which is found on many houses in South Texas, is evident in the historic areas of San Marcos. This type of metal roof was well adapted to odd shapes or projections. Historically, metal roofs were made by folding metal sheets together creating a vertical "seam". The pans were formed from Galvanized steel sheets in a sheet metal shop and could be designed to fit roofs such as turrets. The roofer turned the seams over and the seams were then soldered to form a watertight barrier.
- B. Pressed metal shingles were manufactured and installed as a roofing material in the late 1800s, and are seen on several residential buildings. These materials were also formed from galvanized steel and were premanufactured in St. Louis, Kansas City, and other large industrial areas. Pressed metal has been installed as a skirting material on some houses, but was probably not an original material.
- C. Corrugated metal roofs were also commonly used in Texas. As in standing seam roofs their limitation was due to the fact that lengths were limited to 8 feet which caused numerous end laps, and on larger houses increased chances of roof leaks. Corrugated roofing is found on houses, garages, barns, and other outbuildings. Newer sheet metal profiles such as "V" crimp and pre-finished metal standing seam have been added to older houses as repairs are made.
- D. Ornamental iron, although used during the period on commercial structures, was not commonly used for residential construction. Cast iron is not evident in the San Marcos Historic Districts.
- E. Metal windows were used in residential applications in the 1930s, and are evident on a few houses in the historic districts.
- F. The following guidelines are recommended:
 1. Replace deteriorated metal with new primed or pre-finished metal of the same or compatible material. Pressed metal shingles are still manufactured and can be replaced in localized areas as needed.
 2. Re-install decorative roof details, such as cresting, when replacing the primary roofing material.

3. Avoid installing an inappropriately scaled metal roofing material on a house that did not have a metal roof originally. Many of the current metal roofs have an industrial appearance and should be avoided.
4. Fabricated metal should not replace other materials such as wood columns.
5. Metal windows should not replace wood windows.
6. Avoid installing decorative metal iron work over windows that did not include them in the original design.
7. Avoid installing a pressed metal skirt where one did not previously exist.



One of many standing seam metal roofs in San Marcos (221 Johnson Ave)

1. Replace deteriorated stone with stone that matches the original in color and texture.
2. If a wall has deteriorated or is missing mortar it should be replaced with mortar of the same composition as the original in composition and color. Portland cement, or masons mortar is too hard and will cause the stone to deteriorate and crumble.
3. It is not recommended that stone be added to the foundation or face of a house because this changes the original integrity of the house.
4. Retain stone walls and drainage beds.
5. Use stone as a site design material such as walks, walls and planter beds.



Historic application with stone exterior (809 Belvin St)

Section C.3.4.3 Stone

- A. Stone is used most commonly in the two historic residential districts of San Marcos as a material for foundations and retaining walls. The stone was cut from locally quarried limestone block and was used in conjunction with a soft, lime mortar because of its natural softness. Field stone or rubble stone (stone not cut into a rectangular shape) was used in the construction of walls or curbs in front of houses. This stone, even though a harder consistency, was held together with a lime mortar. Similar stone was also used in the drainage beds of the water runoff systems in the area. Stone was not used as a veneer material or skin of the houses in the Belvin Street or San Antonio Street Historical Districts. However, several newer houses in the San Antonio Street Historical District are clad in various types and patterns of stone. In these two districts, only one historic home still in existence, had been constructed with stone as the primary exterior material.
- B. The following guidelines are recommended:

Section C.3.4.4 Stucco

- A. Stucco, also called cement plaster, is a hardened cementitious paste which is applied over a wire mesh or lath. It creates an exterior wall surface which can be made smooth or can have a sculpted texture. Stucco has no dimension or shape of its own but can be used to form many shapes.
- B. The historic districts of San Marcos have only a few stucco houses. This would have been a building material of the 1920's and 1930's and appears on Tudor style houses and as detail treatment on a few other examples. Small cracks are an

inherent property in stucco due to the shrinkage of the plaster. Small cracks can be concealed by applying an elastomeric paint which has the ability to stretch and return to its shape. Large cracks can be repaired and deteriorated or missing stucco can be replaced with stucco that matches the texture and composition of the original material.

- C.** Stucco is a material to be used as the initial exterior wall surface of a building. It is not intended to be installed over another wall surface material. Installing stucco over a wood siding will cause the wood beneath to deteriorate and will change the overall appearance of the house by eliminating the original detail and shadows of the boards.
- D.** The following guidelines are recommended:
 1. Retain and maintain original stucco.
 2. Avoid installing stucco over another material.

Section C.3.4.5 Wood

- A.** Wood was the primary building material in residential construction in San Marcos. It was readily available, did not require the skills of as many craftsmen, and was used for structural elements as well as skin.
- B.** The majority of houses built during this period on Belvin Street and San Antonio Street are covered with horizontal wood siding. Wood with a tapered profile is in clapboard or lap siding while a milled profile has a more decorative shape. Board and batten, which is a vertical siding, is commonly used on outbuildings such as garages, barns and sheds, and occasionally on small houses. Another common use of wood is decorative wood shingles used as a siding, which was relatively easy to use as a decorative feature on gable ends, turrets, or dormers. Patterns included fish scale, diamond, square cut, and rounded. Wood shingle roofs, although common, are not presently found on the historic houses in the two areas. This may be the result of previous replacement due to deterioration.
- C.** Wood details are found on all houses from all styles and periods of construction. Victorian and Classical styles include ornate turned columns, spindles, box columns, columns of classical order, brackets, bargeboards, cut and turned frieze details, elaborate doors and door surrounds. Less ornate details of the Craftsman, Folk Victorian and Colonial Revival

styles include box columns, brackets and simple porch railings. Wood was the most common material used for porch flooring and is prone to decay because of the exposure to weather conditions. Flooring was usually a high quality wood that was painted on all sides and edges prior to installation to prolong the life of the wood.

- D.** Wood is the primary skirting material on historic houses. Because houses were built above ground on posts and beams, a skirt was constructed from the floor level down to the ground. This skirting usually reflects the same siding profile as the house, was a wider horizontal board, or was a wood lattice, which allowed for ventilation. This wood lattice was commonly installed as a horizontal/vertical grid, rather than the wood lattice which is available today. Solid skirt materials must be vented to allow air to pass under the house and eliminate moisture from the foundation.
- E.** The following guidelines are recommended:
 1. Retain and repair wood siding and details.
 2. Replace missing or badly deteriorated wood features with wood of the same dimension and profile.
 3. Refrain from installing synthetic materials over existing wood materials because they frequently cause the historic material to rot.
 4. Refrain from replacing a deteriorated wood feature with another material.
 5. Explore the use of epoxy wood repair materials in lieu of replacing an entire wood member. This has proven effective on rotted column bases, window sills and sash, etc.
 6. Replace rotted wood that is in contact with the ground with a chemically treated wood to prolong the life of the feature. This can be done on skirting and steps. Treated wood can be used to rebuild lattice skirting by cutting strips from standard treated 2x4 material. All treated wood should be thoroughly dried prior to installation.

Section C.3.4.6 Synthetic Materials

- A.** With the advent of plastics and modern methods of forming materials, which were not available until after World War II, home owners have been influenced by the promise of

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: March, 2023



CONTACT INFORMATION

Applicant's Name	Daniel Garcia	Property Owner	Daniel and Sophie Garcia
Company		Company	
Applicant's Mailing Address	728 Viola St San Marcos TX 78666	Owner's Mailing Address	728 Viola St San Marcos TX 78666
Applicant's Phone #	512-557-2185	Owner's Phone #	512-557-2185
Applicant's Email	dgconstruction66@yahoo.com	Owner's Email	dgconstruction66@yahoo.com

PROPERTY INFORMATION

Address of Proposed Work: Remodel of existing garage

Historic District: Lindsey-Rogers

Tax ID #: R32108

Legal Description: Lot 2 Block 1

Subdivision P A HOFHEINZ

Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (Use additional pages if necessary.)

Remodel of the existing garage structure with the same footprint. Roof pitch change to a single "A" frame vs. "A" frame with lean-to pitch. Going back with the same pine siding (board and batten).

AUTHORIZATION

Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.

I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.

Filing Fee \$150

Technology Fee \$15

TOTAL COST \$165

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

APPLY ONLINE – WWW.MYGOVERNMENTONLINE.ORG/

PROPERTY OWNER AUTHORIZATION

I, Daniel Gacia (owner name) on behalf of
Daniel Garcia (company, if applicable) acknowledge that I/we
am/are the rightful owner of the property located at
728 Viola St San Marcos TX 78666 (address).

I hereby authorize _____ (agent name) on behalf of
_____ (agent company) to file this application for
_____ (application type), and, if necessary, to work with
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner: _____

Date: 03/09/23

Printed Name, Title: Daniel Garcia

Signature of Agent: _____ Date: _____

Printed Name, Title: _____

Form Updated October, 2019

AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$150 plus a \$15 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$150 plus a \$15 technology fee.***

I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.

Signature: 
Print Name: Daniel Garcia

Date: 03/09/23

HPC-23-08

Garage Renovation

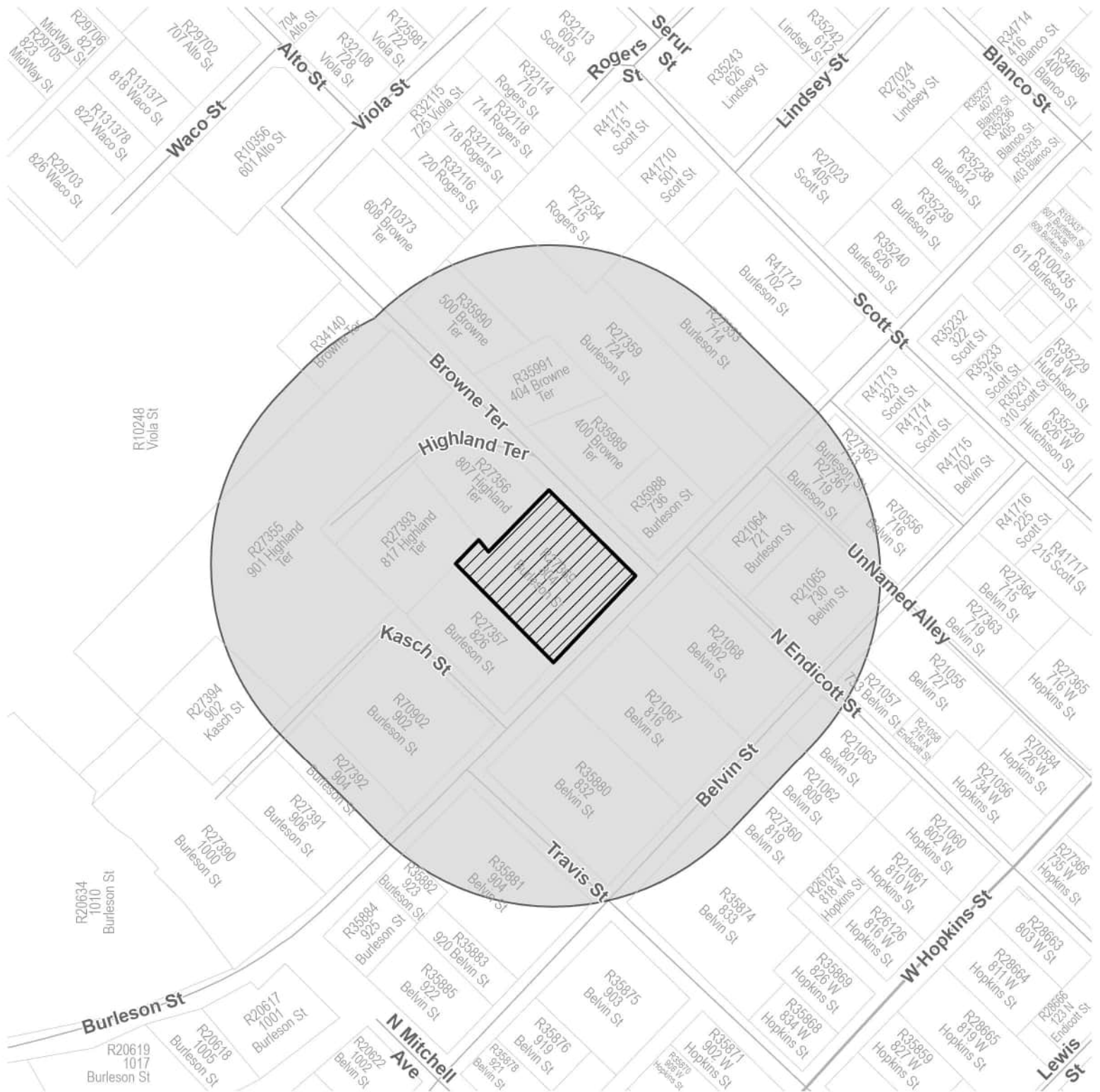
Staff finds request consistent with the following:

- **Sections 4.5.2.1(l)(1)(a), 4.5.2.1(l)(1)(b), 4.5.2.1(l)(1)(d), 4.5.2.1(l)(1)(e), 4.5.2.1(l)(1)(f), 4.5.2.1(l)(1)(g), 4.5.2.1(l)(1)(h) and 4.5.2.1(l)(1)(j):** San Marcos Development Code
- **Standards 1, 2, 3, 5, 6, 9, and 10 :** Secretary of the Interior Standards for Rehabilitation

HPC-23-09

Exterior Alterations - 804 Burleson St.

400ft Buffer



-  Subject Property
-  Parcel
-  400ft Buffer



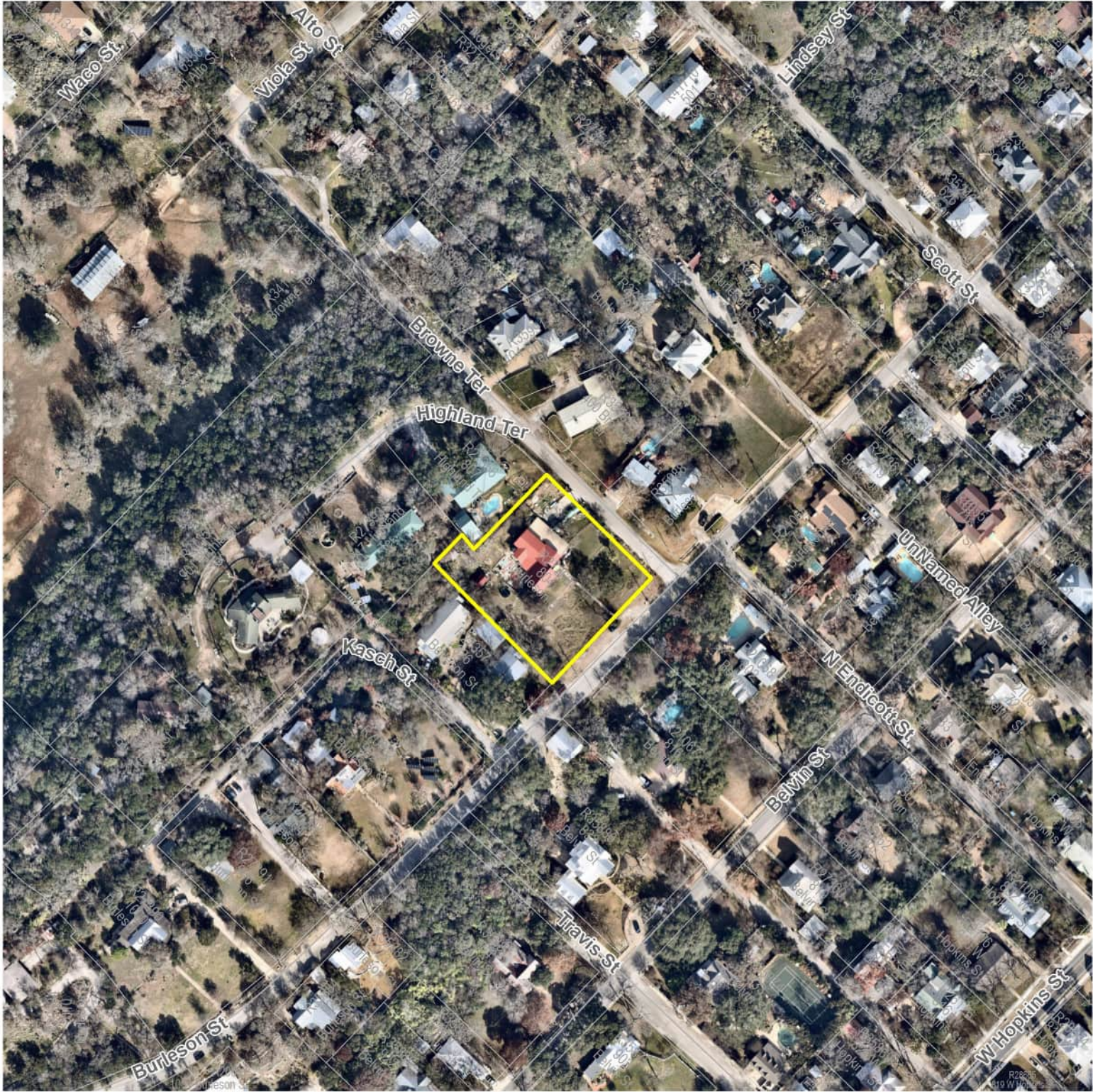
0 125 250 500 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

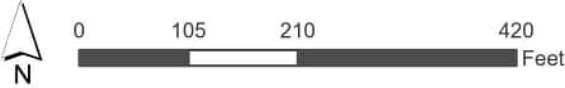
Date: 4/20/2023

Site Location





 Subject Property
 Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 4/20/2023



Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



Summary

Request:	Removal of a wrought iron Juliette balcony from the front facade Addition of a new window awning over the sunroom window located at the southeast corner of the front façade on the first story of the home		
Applicant:	Kristy Money 804 Burleson Street San Marcos, TX 78666	Property Owner:	Kristy Money 804 Burleson Street San Marcos, TX 78666

Notification

Personal Mailing:	April 21, 2023	Posted Notice:	April 23, 2023
Response:	None as of the date of this report		

Property Description

Address:	804 Burleson Street (See: Aerial Map)		
Location:	Corner of Burleson Street and Brown Terrace		
Historic District:	Burleson Historic District	Contributing Structure	Yes
Date Constructed:	1932	My Historic SMTX Resources Survey:	Medium
National Register of Historic Places:	Not Listed	Recorded Texas Historic Landmark:	No
Building Description:	Two-story, 3,463 square foot residential, stone construction material		

My Historic SMTX Historic Resources Survey Summary

Low	X	Medium	High
<p>Medium priority properties are those that could be contributing to an eligible National Register of Historic Places (NRHP) or local historic district. These resources may also have significant associations but are generally more common examples of types or styles or have experienced some alterations.</p> <p>The database states the property was the home of Willie (Holloway) & Frank Zimmerman. Mr. Zimmerman was the owner of the movie theaters in town in the 1930s and was known as "Mr. Theater". Information from the property owner states that Mr. Zimmerman came to San Marcos in 1922 from Los Angeles and was inspired by Hollywood Art Deco/Mediterranean styles. Mr. Zimmerman later became the Mayor of San Marcos and guided the effort to establish the police department, water and sewage facilities, the City jail, traffic lights, and garbage service. The database states that the stone used for this house was quarried from his father in law's ranch in Dripping Springs. The survey notes that the flat roof was altered to gabled and that the side porch was enclosed, and a roof added, with a rear carport addition in 1960s. (See Attached, Historic Resources Survey Inventory Table, 1944 Sanborn Map)</p>			

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



Current Request

The applicant is proposing to remove an existing, wrought iron Juliette balcony located on the second story of the front façade; it can be seen in the photograph below. The application states that the balcony does not conform to their family values. Additionally, the applicant is proposing to install a wood and metal awning over the sunroom window located at the southeast corner of the front façade. The applicant states that the awning had been located over a window at the rear of the home and that they would like to reuse it on the front façade. The application states that the awning is needed to protect the window from rain and/or hail. The application indicates that the awning will measure approximately eight feet across and be approximately four feet deep. It will be supported using wrought iron poles that will be mounted to the façade.

Please refer to attached documents for photographs of the balcony to be removed and the sunroom window location, the dimensioned rendering of the new awning, and the photographs of the proposed window awning and its supports.

My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<u>No Affect</u>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <i>Approval of the request would not affect the activity noted above.</i>
<u>N/A</u>	For Historic Districts, compliance with the Historic District regulations
<u>No</u>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <i>The property owner will not suffer an extreme hardship</i>
<i>See Analysis Below</i>	The construction and repair standard and guidelines cited in Section 4.5.2.1

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



REMOVAL OF JULIETTE BALCONY

Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1)) New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	a. <u>Height</u> . The height of a proposed building shall be visually compatible with adjacent buildings.
		<u>N/A</u>	b. <u>Proportion of Building's front Facade</u> . The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related.
<u>X</u>			c. <u>Proportion of openings within the facility</u> . The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related. <i>The window located above the balcony is proposed to remain as it currently exists.</i>
<u>X</u>			d. <u>Rhythm of solids to voids in front Facades</u> . The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related. <i>Removal of the balcony will not affect the solids to voids ratio on the front façade.</i>
		<u>N/A</u>	e. <u>Rhythm of spacing of Buildings on Streets</u> . The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	f. <u>Rhythm of entrance and/or porch projection</u> . The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	g. <u>Relationship of materials, texture and color</u> . The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related.
		<u>N/A</u>	h. <u>Roof shapes</u> . The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



REMOVAL OF JULIETTE BALCONY

Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	i. <u>Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.
		<u>N/A</u>	i. <u>Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.
<i>See Attached Historic District Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i>			The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior. <i>See attached Section C.1.2.4, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i>

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



REMOVAL OF JULIETTE BALCONY

Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <i>The home will continue to be utilized as a single-family home.</i></p>
		<u>X</u>	<p>2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. <i>The balcony was not identified as a distinctive feature of the home in the historic resources survey. There is one other balcony on the front façade which is more substantial than the Juliette balcony in question.</i></p>
		<u>X</u>	<p>3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken. <i>The balcony could be historic material. A 'Z' can be seen on the balcony which one could assume refers to the Zimmerman family who originally built the home in the 1930s.</i></p>
		<u>X</u>	<p>4. Changes to a property that have acquired historic significance in their own right will be retained and preserved. <i>The balcony could be historic material. A 'Z' can be seen on the balcony which one could assume refers to the Zimmerman family who originally built the home in the 1930s. It is difficult to determine the date of its installation as there does not appear to be photographic evidence of the front façade of the home from when it was first constructed. The balcony was not identified as a distinctive feature of the home.</i></p>
		<u>X</u>	<p>5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. <i>The balcony was not identified as a distinctive feature of the home.</i></p>

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



REMOVAL OF JULIETTE BALCONY

Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
		<u>X</u>	<p>6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</p> <p><i>The application does not state whether the balcony is in disrepair or that a new balcony will be installed after the current one is removed.</i></p>
		<u>X</u>	<p>7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</p> <p><i>Removal should take care not to damage the surrounding stone façade. Additionally, the National Park Service Preservation Brief #2 "Repointing Mortar Joints in Historic Masonry Buildings" should be consulted when looking to repair where the balcony is attached to the façade. Should the request be approved, hiring a preservation design professional is highly recommended prior to undertaking the removal of the balcony to ensure that best preservation practices are followed.</i></p>
		<u>N/A</u>	<p>8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>
		<u>X</u>	<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><i>The balcony could be historic material. There is a 'Z' on it which one could assume refers to the Zimmerman family who originally built the home in the 1930s. It is difficult to determine the date of its installation as there does not appear to be photographic evidence of the front façade of the home from when it was first constructed, but it was not identified as a distinctive feature of the home.</i></p>
		<u>N/A</u>	<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p>

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



NEW WINDOW AWNING			
Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(I)(1))
Consistent	Inconsistent	Neutral	New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
		<u>N/A</u>	<u>a. Height.</u> The height of a proposed building shall be visually compatible with adjacent buildings.
		<u>N/A</u>	<u>b. Proportion of Building's front Facade.</u> The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	<u>c. Proportion of openings within the facility.</u> The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related.
<u>X</u>			<u>d. Rhythm of solids to voids in front Facades.</u> The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related. <i>The solids to voids ratio will not be affected by the addition of the awning over the window.</i>
		<u>N/A</u>	<u>e. Rhythm of spacing of Buildings on Streets.</u> The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	<u>f. Rhythm of entrance and/or porch projection.</u> The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.
<u>X</u>			<u>g. Relationship of materials, texture and color.</u> The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related. <i>The proposed awning and supports will be visually compatible with the roof of the home along with the existing wrought iron railings on the property. Wood and metal are compatible materials within the historic district.</i>

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)



NEW WINDOW AWNING		
Construction and Repair Standards (Sec.4.5.2.1(I)(1))		
Staff Evaluation		
Consistent	Inconsistent	Neutral
		<u>N/A</u>
		<u>N/A</u>
		<u>N/A</u>
<p><i>See Attached Historic District Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i></p>		

<p><i>See Attached Historic District Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i></p>	<p><u>h. Roof shapes.</u> The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.</p> <p><u>i. Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p> <p><u>j. Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p> <p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior. <i>See attached Sections C.1.2.4, C.3.2.6, C.3.4.2, and C.3.4.5, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></p>
--	--

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)








NEW WINDOW AWNING			
Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <i>The home will continue to be utilized as a single-family home</i></p>
		<u>N/A</u>	<p>2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.</p>
<u>X</u>			<p>3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken. <i>Addition of the awning over the window is not a conjectural feature.</i></p>
<u>X</u>			<p>4. Changes to a property that have acquired historic significance in their own right will be retained and preserved. <i>The location of the sunroom is in addition from the 1960s.</i> <i>Addition of the awning may protect historic material.</i></p>
		<u>N/A</u>	<p>5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</p>
		<u>N/A</u>	<p>6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</p>
		<u>X</u>	<p>7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used. <i>Should the request be approved, hiring a preservation design professional is highly recommended prior to installing the awning to ensure that best preservation practices are followed.</i></p>
		<u>N/A</u>	<p>8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>

Certificate of Appropriateness

HPC-23-09 (804 Burleson Street)

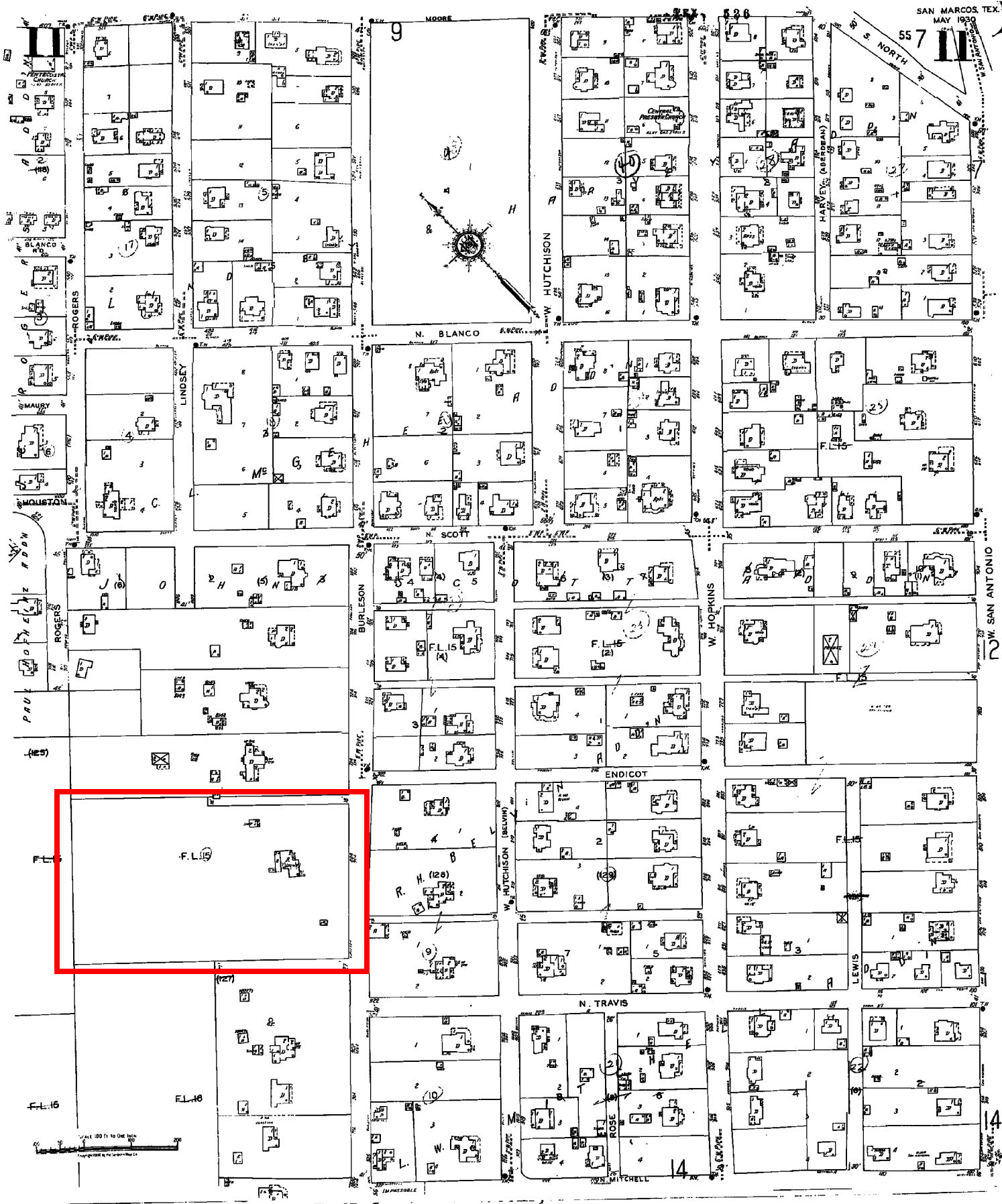


NEW WINDOW AWNING			
Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><i>The proposed awning and supports will be visually compatible with the roof of the home along with the existing wrought iron railings on the property. Wood and metal are compatible materials within the historic district.</i></p>
		<u>X</u>	<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p><i>Care should be taken to install the new awning so that the support poles are not bolted directly to the stone façade. Should the request be approved, hiring a preservation design professional is highly recommended prior to installing the awning to ensure that best preservation practices are followed.</i></p>

Local Id# / Image	Address	Current Name/ Historic Name	Current Function/ Historic Function	Stylistic Influence/ Historical Context	Construction Date	Existing Designation	Eligibility	Priority
R27369 	804 BURLESON ST SAN MARCOS	Zimmerman Home	Domestic	Vernacular; Art Deco/Mediterranean (influences) Architecture, Community Development	1932	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District	Individually: No In District?: Yes Contributing	Medium
Burleson Local Historic District						<input checked="" type="checkbox"/> Contributing		
R27357b 	826 BURLESON ST SAN MARCOS		Domestic	Minimal Traditional	ca. 1945	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: Yes Non-contributing	Low
Burleson Street Local Historic District								
R27357a 	828 BURLESON ST SAN MARCOS	Kasch Corner	Domestic	Ranch Style	ca. 1950	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Burleson Street Local Historic District								
R70902 	902 BURLESON ST SAN MARCOS	Kasch House	Domestic	Queen Anne Architecture, Community Development	1890-94	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District	Individually: Yes In District?: Yes Contributing	High
Burleson Street Local Historic District						<input checked="" type="checkbox"/> Contributing		
R27392 	904 BURLESON ST SAN MARCOS		Domestic	Colonial Revival	ca. 1935	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Burleson Street Local Historic District								

557

S. NORTH



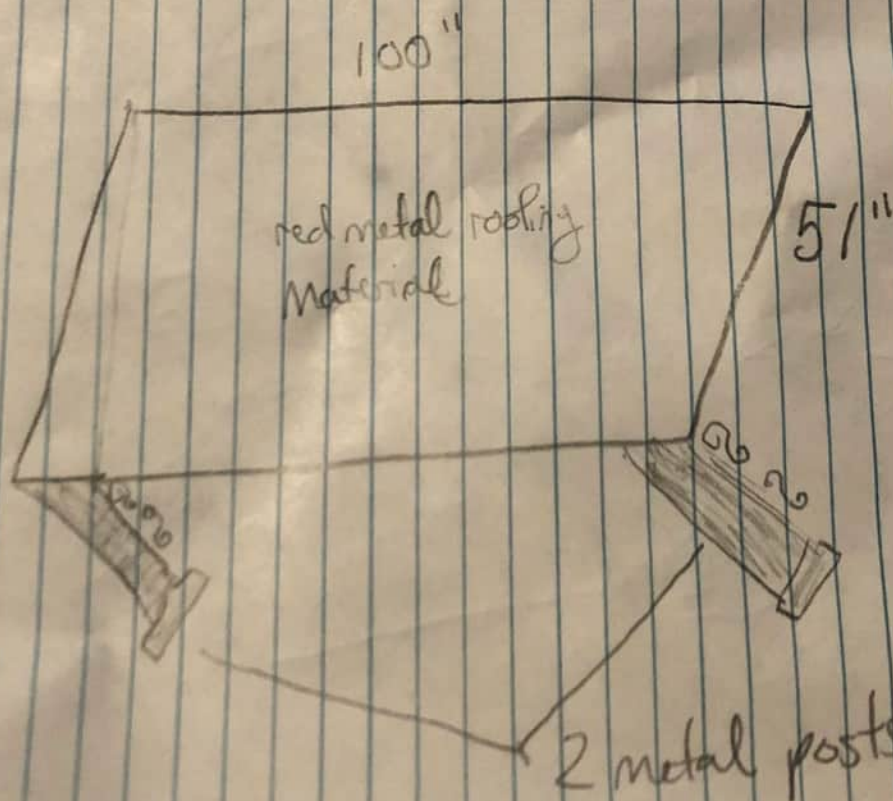
JULIETTE BALCONY TO BE
REMOVED



SUNROOM WINDOW LOCATION



AWNING RENDERING



Please see pics of actual
awning + posts on-site.

Just need to attach.

2 metal posts are 63" long each
+ 6" round pole circumference

PROPOSED AWNING



PROPOSED AWNING SUPPORTS



Section C.1.2.3 Residential Buildings

- A.** Porches are frequently the most modified portion of a house. Returning a porch to its original design, when possible, will make a positive visual impact to the house and the neighborhood.
- B.** If a porch has been lowered, consider raising it to its original level.
- C.** If the original columns have been replaced with another material and design, consider replacing the columns with columns which are compatible with the original design and material.
- D.** If porches have been closed to provide additional space in the house, look for other locations for this space when remodeling.
- E.** If porches have been removed, consider reconstructing them.
- F.** Synthetic siding which has been applied over the original siding changes the character of the house. Consider removing the synthetic siding and restoring the original detail of the house.
- G.** When windows have been removed and placed with windows of a different material and proportion, consider replacing them with windows to match the original.

Section C.1.2.4 New Construction in Historic Districts

- 1.** As opportunities arise, new construction will take place in historic districts and this is to be encouraged in order to maintain a viable living community. However, new construction should follow the characteristics and guidelines outlined in this document.
- 2.** Respect and maintain the overall height of buildings in the immediate vicinity.
- 3.** Maintain the building relationship to the street. Set the new building back a distance equal to that of the surrounding structures and orient the new building in the same way.
- 4.** Maintain the established rhythm of the structural piers in the surrounding buildings, consider a similar rhythm, structural bay or width.
- 5.** Respect the overall proportion and form. Maintain the width to height relationship.

- 6.** Utilize floor heights common to adjacent buildings. Maintain the horizontal continuity of the elevations in commercial buildings.
- 7.** Roof forms and roof lines or cornices should be consistent in shape and detail.
- 8.** Maintain the solid-to-void pattern established in the window openings and follow the proportions established in these openings.
- 9.** Materials used in the construction of new buildings should reflect the period in which they are built but should respect the established scale of adjacent buildings.
- 10.** Construct garages and carports to the rear of the property, behind the face of the house.
- 11.** Orient garage doors away from the street when possible.
- 12.** Consider the density of a neighborhood when constructing new buildings on vacant or subdivided lots.
- 13.** Maintain the orientation of building entrances on a street.
- 14.** Construct additions to existing buildings that do not overpower the original building.
- 15.** Seek guidance and assistance early in a project. Look at options that will enhance the historic district and satisfy your needs.
- 16.** Avoid creating a false history when constructing new buildings. New buildings are new buildings and should not be confused with historic structures.

Section C.1.2.5 Priority Planning - Renovation Guidelines

- A.** Evaluate the existing structure to establish the most important work to be completed.
- B.** What may be the most visible to the eye may not be the most important to the life of the building. For example, a new coat of paint for the front of the building will not do much to extend the life of the building if the roof is leaking badly.
- C.** Identify the “character defining” features of the building and relate their importance to the character of the street as well as the building itself.

sometimes necessary, their placement and approach should respect the original “front line” of the house. This would place them behind the existing setback. Locating them to the rear of the property is preferable.

- D. Front yards are defined by sidewalks, yard curbs, short walls, boundary walls made of stone, brick, concrete or concrete block. These walls are low in profile and do not obscure the house. Front yard fences are not common in these neighborhoods, but there is evidence of historic fences in the Belvin Street Historic District.
- E. The following guidelines are recommended:
 1. Retain the orientation of the house to the street. To change the entrance from the front would alter the pedestrian approach and rhythm.
 2. Removing or relocating the sidewalk from the street would break the rhythm of the neighborhood. Broken sidewalks should be replaced but the location should remain. The material should match the original or should be compatible with the house and the surrounding neighborhood. Materials such as stone, concrete or brick pavers, and decomposed granite are appropriate replacement materials and are not as harsh as large expanses of concrete.



Strong pedestrian approach (220 N Johnson Ave)



Retain orientation of house to street (921 W San Antonio St)

3. Driveway locations should not be altered if it affects the rhythm of the street. Materials that might be used for a driveway are gravel, pea gravel with a brick or metal edge band, pavers, concrete strips or “ribbons” and asphalt. Front yard circular drives are not appropriate to the neighborhood because they encroach on the setback and break the rhythm on the street.
4. The style of the house and the surroundings should be considered when thinking of any type of front yard fence. For example, an ornate Victorian fence would look out of place in front of a Craftsman style house.
5. Review the reason for wanting to install a front yard fence. Did one exist historically? Houses constructed in the 1880s had front yard fences to keep livestock from roaming into the yard. Houses built in the 1920s had no fences in the front yard, which reflected a “progressive” movement when fencing laws reduced the chance for roaming livestock.
6. Can the fence be installed at or behind the setback line?

Section C.3.2.6 Modern Conveniences and Amenities

- A. Historic homes offer charm and character not always found in current residential construction. As families grow and residents grow older, needs change. Air conditioning is a welcome relief from the heat and humidity in San Marcos. Additional rooms and bathrooms may be necessary as children get older. Steps may become impossible to maneuver with age or a disability.

The installation of a “no-step entrance” or ramp can maintain or prolong ones independence and mobility.

- B.** Adapting a historic home for modern use, while maintaining the homes original character, requires thoughtful planning. Weigh the safety and comfort concerns with that of historical accuracy, economic feasibility and long term impact. Ask yourself “How can this improvement or necessity be installed or removed without causing irreparable damage to the historic character of the house or neighborhood”.
- C.** The following includes some of the commonly installed amenities and additions to historic properties:
 - 1.** Carefully consider access ramps for temporary or long term disability, and the location and impact of the ramp on the house and neighborhood. The removal of a small section of railing on the side of a porch may be more convenient and less intrusive than to the front of the house. If the porch is not elevated, consider replacing the sidewalk with an incline to eliminate steps at the porch or door.
 - 2.** Air conditioning and electrical equipment should be installed in such a way that it will not damage important architectural features. Study possible locations for the equipment and install it where it is least visible from the street or can be screened with planting material.
 - 3.** Antennas and satellite dishes are considered a removable fixture but with some thought can be sited away from public view.
 - 4.** Chimneys are an important architectural feature and the removal or alteration of existing chimneys alters the historical integrity of the house.
 - 5.** Decks and patios can be compatible with historic houses if thought is given to location, proportion and materials.
 - 6.** Dormers are important to the composition of the roof and should not be eliminated. Scale and form should be retained. New dormers may allow for additional use of the attic, but should be designed to match the style of the original house.
 - 7.** Flags and banners are considered a removable amenity but care should be used when mounting to not damage the historic materials of the house.
 - 8.** Light fixtures located on the building exterior, porches, pathways and paved areas should be appropriate in design, scale and character of the house. There are many available adaptations of fixtures in various architectural styles. A Victorian light fixture is appropriate with a Victorian house but not appropriate with a Ranch or Craftsman style house.
 - 9.** Mailboxes and mail slots should be simple and as unobtrusive as possible. Mailboxes can be obtained in styles compatible with the time period of the house.
 - 10.** Shutters may be installed if they are in keeping with the style of the house and the period of construction. Shutters should be correctly proportioned to the width and height of the window and should be installed with hinges rather than nailed to the wall.
 - 11.** Skylights can add light to interior spaces and may make attic spaces more useable. If flat in profile and positioned away from public view skylights can be installed in older houses. Bubble dome skylights are not appropriate.
 - 12.** Storm/screen doors and windows can be installed without hiding the historic door and surrounding features. Metal framed doors and window screens are acceptable if selected with a white factory finished or painted the color of the door and window trim. Wood storm/screen doors and windows designed for the style of the house can be purchased at most lumber yards.
 - 13.** Orient garages away from the primary view and install single car doors instead of double wide doors.
- D.** As you formulate your ideas to modify and improve your home, questions will arise. There are many sources available for advice and assistance including a neighbor who has completed a similar project, the Texas Historical Commission, City Staff and the National Trust for Historic Preservation. Helpful resources can be found on the City’s website.

remove some stains. Consult a knowledgeable contractor or the Texas Historical Commission for more information.

6. Avoid installing brick or block where these materials were not originally used.
7. Avoid installing brick on the walls of a house that originally had wood siding. To install brick over wood siding changes the character of the house and can destroy the wood beneath.



Brick with stone accents (727 W Hopkins Street)



Brick used in sidewalk (716 Belvin St)



Rough faced concrete block (1024 W San Antonio St)

Section C.3.4.2 Metal

- A. The primary use of metal on historic residential homes in San Marcos was as a roofing or roof related decoration such as cresting and weathervanes. Standing seam metal roofing, which is found on many houses in South Texas, is evident in the historic areas of San Marcos. This type of metal roof was well adapted to odd shapes or projections. Historically, metal roofs were made by folding metal sheets together creating a vertical "seam". The pans were formed from Galvanized steel sheets in a sheet metal shop and could be designed to fit roofs such as turrets. The roofer turned the seams over and the seams were then soldered to form a watertight barrier.
- B. Pressed metal shingles were manufactured and installed as a roofing material in the late 1800s, and are seen on several residential buildings. These materials were also formed from galvanized steel and were premanufactured in St. Louis, Kansas City, and other large industrial areas. Pressed metal has been installed as a skirting material on some houses, but was probably not an original material.
- C. Corrugated metal roofs were also commonly used in Texas. As in standing seam roofs their limitation was due to the fact that lengths were limited to 8 feet which caused numerous end laps, and on larger houses increased chances of roof leaks. Corrugated roofing is found on houses, garages, barns, and other outbuildings. Newer sheet metal profiles such as "V" crimp and pre-finished metal standing seam have been added to older houses as repairs are made.
- D. Ornamental iron, although used during the period on commercial structures, was not commonly used for residential construction. Cast iron is not evident in the San Marcos Historic Districts.
- E. Metal windows were used in residential applications in the 1930s, and are evident on a few houses in the historic districts.
- F. The following guidelines are recommended:
 1. Replace deteriorated metal with new primed or pre-finished metal of the same or compatible material. Pressed metal shingles are still manufactured and can be replaced in localized areas as needed.
 2. Re-install decorative roof details, such as cresting, when replacing the primary roofing material.

3. Avoid installing an inappropriately scaled metal roofing material on a house that did not have a metal roof originally. Many of the current metal roofs have an industrial appearance and should be avoided.
4. Fabricated metal should not replace other materials such as wood columns.
5. Metal windows should not replace wood windows.
6. Avoid installing decorative metal iron work over windows that did not include them in the original design.
7. Avoid installing a pressed metal skirt where one did not previously exist.



One of many standing seam metal roofs in San Marcos (221 Johnson Ave)

1. Replace deteriorated stone with stone that matches the original in color and texture.
2. If a wall has deteriorated or is missing mortar it should be replaced with mortar of the same composition as the original in composition and color. Portland cement, or masons mortar is too hard and will cause the stone to deteriorate and crumble.
3. It is not recommended that stone be added to the foundation or face of a house because this changes the original integrity of the house.
4. Retain stone walls and drainage beds.
5. Use stone as a site design material such as walks, walls and planter beds.



Historic application with stone exterior (809 Belvin St)

Section C.3.4.3 Stone

- A. Stone is used most commonly in the two historic residential districts of San Marcos as a material for foundations and retaining walls. The stone was cut from locally quarried limestone block and was used in conjunction with a soft, lime mortar because of its natural softness. Field stone or rubble stone (stone not cut into a rectangular shape) was used in the construction of walls or curbs in front of houses. This stone, even though a harder consistency, was held together with a lime mortar. Similar stone was also used in the drainage beds of the water runoff systems in the area. Stone was not used as a veneer material or skin of the houses in the Belvin Street or San Antonio Street Historical Districts. However, several newer houses in the San Antonio Street Historical District are clad in various types and patterns of stone. In these two districts, only one historic home still in existence, had been constructed with stone as the primary exterior material.
- B. The following guidelines are recommended:

Section C.3.4.4 Stucco

- A. Stucco, also called cement plaster, is a hardened cementitious paste which is applied over a wire mesh or lath. It creates an exterior wall surface which can be made smooth or can have a sculpted texture. Stucco has no dimension or shape of its own but can be used to form many shapes.
- B. The historic districts of San Marcos have only a few stucco houses. This would have been a building material of the 1920's and 1930's and appears on Tudor style houses and as detail treatment on a few other examples. Small cracks are an

inherent property in stucco due to the shrinkage of the plaster. Small cracks can be concealed by applying an elastomeric paint which has the ability to stretch and return to its shape. Large cracks can be repaired and deteriorated or missing stucco can be replaced with stucco that matches the texture and composition of the original material.

- C. Stucco is a material to be used as the initial exterior wall surface of a building. It is not intended to be installed over another wall surface material. Installing stucco over a wood siding will cause the wood beneath to deteriorate and will change the overall appearance of the house by eliminating the original detail and shadows of the boards.
- D. The following guidelines are recommended:
 1. Retain and maintain original stucco.
 2. Avoid installing stucco over another material.

Section C.3.4.5 Wood

- A. Wood was the primary building material in residential construction in San Marcos. It was readily available, did not require the skills of as many craftsmen, and was used for structural elements as well as skin.
- B. The majority of houses built during this period on Belvin Street and San Antonio Street are covered with horizontal wood siding. Wood with a tapered profile is in clapboard or lap siding while a milled profile has a more decorative shape. Board and batten, which is a vertical siding, is commonly used on outbuildings such as garages, barns and sheds, and occasionally on small houses. Another common use of wood is decorative wood shingles used as a siding, which was relatively easy to use as a decorative feature on gable ends, turrets, or dormers. Patterns included fish scale, diamond, square cut, and rounded. Wood shingle roofs, although common, are not presently found on the historic houses in the two areas. This may be the result of previous replacement due to deterioration.
- C. Wood details are found on all houses from all styles and periods of construction. Victorian and Classical styles include ornate turned columns, spindles, box columns, columns of classical order, brackets, bargeboards, cut and turned frieze details, elaborate doors and door surrounds. Less ornate details of the Craftsman, Folk Victorian and Colonial Revival

styles include box columns, brackets and simple porch railings. Wood was the most common material used for porch flooring and is prone to decay because of the exposure to weather conditions. Flooring was usually a high quality wood that was painted on all sides and edges prior to installation to prolong the life of the wood.

- D. Wood is the primary skirting material on historic houses. Because houses were built above ground on posts and beams, a skirt was constructed from the floor level down to the ground. This skirting usually reflects the same siding profile as the house, was a wider horizontal board, or was a wood lattice, which allowed for ventilation. This wood lattice was commonly installed as a horizontal/vertical grid, rather than the wood lattice which is available today. Solid skirt materials must be vented to allow air to pass under the house and eliminate moisture from the foundation.
- E. The following guidelines are recommended:
 1. Retain and repair wood siding and details.
 2. Replace missing or badly deteriorated wood features with wood of the same dimension and profile.
 3. Refrain from installing synthetic materials over existing wood materials because they frequently cause the historic material to rot.
 4. Refrain from replacing a deteriorated wood feature with another material.
 5. Explore the use of epoxy wood repair materials in lieu of replacing an entire wood member. This has proven effective on rotted column bases, window sills and sash, etc.
 6. Replace rotted wood that is in contact with the ground with a chemically treated wood to prolong the life of the feature. This can be done on skirting and steps. Treated wood can be used to rebuild lattice skirting by cutting strips from standard treated 2x4 material. All treated wood should be thoroughly dried prior to installation.

Section C.3.4.6 Synthetic Materials

- A. With the advent of plastics and modern methods of forming materials, which were not available until after World War II, home owners have been influenced by the promise of

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: August, 2022



CONTACT INFORMATION

Applicant's Name		Property Owner	
Company		Company	
Applicant's Mailing Address		Owner's Mailing Address	
Applicant's Phone #		Owner's Phone #	
Applicant's Email		Owner's Email	

PROPERTY INFORMATION

Address of Proposed Work: _____

Historic District: _____ Tax ID #: R _____

Legal Description: Lot _____ Block _____ Subdivision _____

Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (*Use additional pages if necessary.*)

I am applying to remove the small black wrought-iron window decoration attached to the second story of my house facing Burleson street. I wish to remove the decoration because I don't like its aesthetic and the decoration does not conform with my family's values. Also, I'd like to install a small shed roof over the sunroom window to protect the window from rain/hail, using wrought-iron poles with scrollwork to hold it up. See attached.

AUTHORIZATION

Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.

I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.

Filing Fee \$0

Technology Fee \$13

TOTAL COST \$13

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

APPLY ONLINE – WWW.MYGOVERNMENTONLINE.ORG/

AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.

Signature:  _____

Date: _____

Print Name: _____

Form Updated October, 2019

HPC-23-09

Removal of Juliette Balcony

Staff finds request consistent with the following:

- **Sections 4.5.2.1(I)(1)(c) and 4.5.2.1(I)(1)(d):** San Marcos Development Code
- **Standard 1:** Secretary of the Interior Standards for Rehabilitation

Staff finds request neutral against the following:

- **Standards 2, 3, 4, 5, 6, 7, and 9:** Secretary of the Interior Standards for Rehabilitation

HPC-23-09

New Window Awning

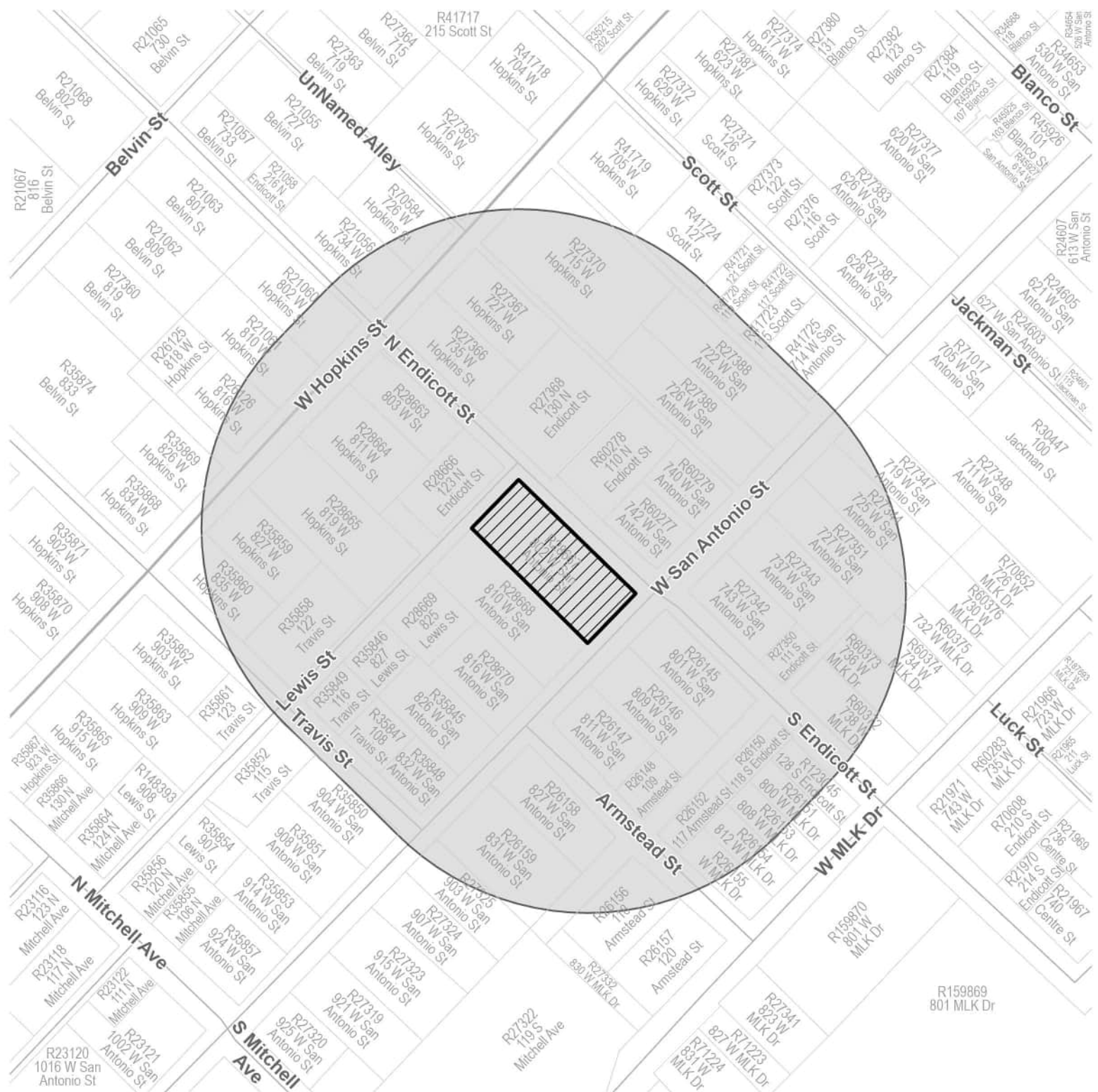
Staff finds request consistent with the following:

- **Sections 4.5.2.1(I)(1)(d) and 4.5.2.1(I)(1)(g):** San Marcos Development Code
- **Standards 1, 3, 4, and 9 :** Secretary of the Interior Standards for Rehabilitation

Staff finds request neutral against the following:

- **Standards 7 and 10:** Secretary of the Interior Standards for Rehabilitation

400ft Buffer



 Subject Property
 Parcel
 400ft Buffer



A horizontal number line is shown with tick marks at 0, 112.5, 225, and 450. The word "Feet" is written at the right end of the line. The segment between 112.5 and 225 is shaded gray.

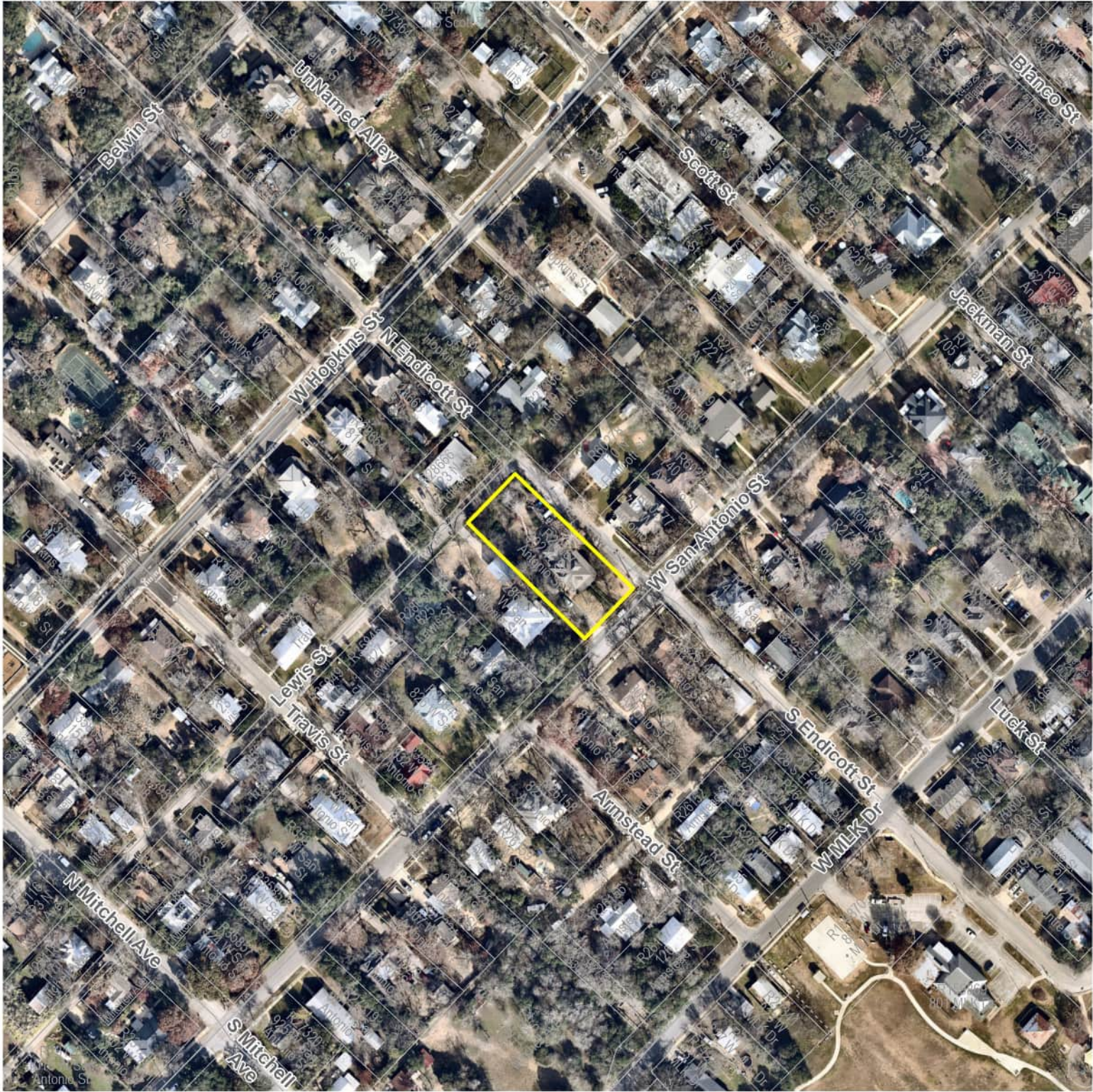
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 4/21/2023

SAN MARCOS Planning and
Development Services

Site Location





-  Subject Property
-  Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 4/21/2023



Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



Summary

Request:	A change in design to an approved Certificate of Appropriateness to allow the installation of vinyl windows rather than custom-built wood window on a new detached accessory structure Installation of a new wrought iron fence along the side and rear property lines		
Applicant:	Michael Wills Michael Wills Architect 801 Columbia Avenue San Marcos, TX 78666	Property Owner:	Stephanie Rubiano Shropshire 802 West San Antonio Street San Marcos, TX 78666

Notification

Personal Mailing:	April 21, 2023	Posted Notice:	April 21, 2023
Response:	One letter in support; attached		

Property Description

Address:	802 West San Antonio Street (See: Aerial Map)		
Location:	Corner of West San Antonio Street and Endicott Street		
Historic District:	San Antonio Street	Contributing Structure	Yes
Date Constructed:	c. 1905	My Historic SMTX Resources Survey:	High
National Register of Historic Places:	Not Listed	Recorded Texas Historic Landmark:	No
Building Description:	Two-story, 4,056 square foot, Neoclassical-style single-family residential structure		

My Historic SMTX Historic Resources Survey Summary

<input type="checkbox"/> Low	<input type="checkbox"/> Medium	<input checked="" type="checkbox"/> High
High priority properties are those resources which have retained integrity, are significant or rare examples of a particular type or style, and/or have significant associations with the community. Typically, high priority properties are recommended as National Register of Historic Places (NRHP) or local landmark eligible either individually or as part of a potential historic district based on the results of research and survey efforts.		
The database states the property is an architecturally significant residence with original wood windows, wood siding, original front door with sidelights and transoms, and Classical columns at the two-story porch. The database also notes the hipped roof with hipped dormers and a rear two-story addition that is not visible on 1944 Sanborn map but appears to be of historic age (at least 50 years old or older). Also noted is the historic-age concrete street marker located in the front yard. (See: Historic Resources Survey Inventory Form; 1944 Sanborn Map)		

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



Current Request

In January 2023, a Certificate of Appropriateness was approved to construct a new single-story accessory building in the rear yard, which will serve as an art studio and workshop for the property owner, with the condition that custom-built wood windows are utilized on the new accessory structure. The applicant is proposing a change in the approved design and is requesting that, rather than custom-built wood windows, white vinyl windows be installed; 15 windows are proposed. The applicant states that a white vinyl window can be purchased with no lead time for \$300. The same style wood clad window costs \$1,000 with a lead time of 5 to 6 months, would need to be painted when installed, and repainted every 4 years to keep the warranty; the cost to paint the windows would be \$1,500. The applicant stated that on average the clad windows, depending on size, cost \$500 - \$700 more, which increases the cost over the vinyl by approximately \$9,000; painting of the wood windows would add \$1,500. This increases the cost at time of construction by approximately \$10,500. There would also be an increase in construction time as they would have to wait 5-6 months for the windows to be received. In addition to the change in design, the applicant is proposing the installation of a wrought iron fence along the side and rear property lines. A fence permit application will have to be approved and issued prior to installation and the requirements of the San Marcos Development Code, specifically Chapter 7, Article 2, Division 6, must be met.

Please refer to attached documents for the site plan, the architectural renderings with proposed materials shown, an exhibit showing examples of wrought iron fences in the historic districts and other newly constructed accessory buildings in the historic district with vinyl windows.

My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<u>No Affect</u>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <i>Approval of the request would not affect the activity noted above.</i>
<u>N/A</u>	For Historic Districts, compliance with the Historic District regulations
<u>No</u>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <i>The property owner will not suffer an extreme hardship.</i>
<i>See Analysis Below</i>	The construction and repair standard and guidelines cited in Section 4.5.2.1

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



WINDOWS – CHANGE IN APPROVED DESIGN

Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1)) New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	a. <u>Height</u> . The height of a proposed building shall be visually compatible with adjacent buildings.
		<u>N/A</u>	b. <u>Proportion of Building's front Facade</u> . The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related.
<u>X</u>			c. <u>Proportion of openings within the facility</u> . The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related. <i>The proposed windows on the new structure appear to be the same size and width as existing windows on the main home. Installing the new windows to match the profile of the windows on the existing home will ensure visual compatibility.</i>
<u>X</u>			d. <u>Rhythm of solids to voids in front Facades</u> . The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related. <i>The front façade of the proposed new structure will not be visible.</i>
			e. <u>Rhythm of spacing of Buildings on Streets</u> . The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	f. <u>Rhythm of entrance and/or porch projection</u> . The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



WINDOWS – CHANGE IN APPROVED DESIGN

Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
<u>X</u>			<p><u>g. Relationship of materials, texture and color.</u> The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related.</p> <p><i>The applicant is proposing to install windows that will be visually compatible with the existing historic windows. The use of vinyl windows as <u>replacement windows</u> for historic buildings does not follow best preservation practices. Installing vinyl windows as part of a <u>newly constructed</u> structure that will be subordinate to the main structure, as long as the windows match in dimensions, profile, and overall appearance, will protect the integrity of the property.</i></p>
		<u>N/A</u>	<p><u>h. Roof shapes.</u> The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.</p>
		<u>N/A</u>	<p><u>i. Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p>
		<u>N/A</u>	<p><u>j. Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p>
<p><i>See Attached Historic District Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><i>See attached Sections C.1.2.4 and C.3.3.5 Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></p>

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



WINDOWS – CHANGE IN APPROVED DESIGN

Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <i>The property will continue to be utilized as a single-family residence.</i>
<u>X</u>			2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. <i>Historic materials will not be removed. The new structure will not be attached to the main structure or the existing detached garage.</i>
		<u>N/A</u>	3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
		<u>N/A</u>	4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
		<u>N/A</u>	5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
		<u>N/A</u>	6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



WINDOWS – CHANGE IN APPROVED DESIGN

Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><i>The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings recommends designing a new addition that is subordinate and secondary to the historic building. The new construction should be compatible, but differentiated enough so that it is not confused as historic so that it does not negatively impact the historic character of the building or its site.</i></p> <p><i>The use of vinyl windows as <u>replacement windows</u> for historic buildings does not follow best preservation practices. Installing vinyl windows as part of a <u>newly constructed</u> structure that will be subordinate to the main structure, as long as the windows match in dimensions, profile, and overall appearance, will protect the integrity of the property.</i></p>
<u>X</u>			<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p><i>If the proposed structure were to be removed from the property in the future, the essential form and integrity of the historic property would be unimpaired. The requested change in design does not change this.</i></p>

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



FENCE

Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1)) New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	a. <u>Height</u> . The height of a proposed building shall be visually compatible with adjacent buildings.
		<u>N/A</u>	b. <u>Proportion of Building's front Facade</u> . The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	c. <u>Proportion of openings within the facility</u> . The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related.
		<u>N/A</u>	d. <u>Rhythm of solids to voids in front Facades</u> . The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related.
<u>X</u>			e. <u>Rhythm of spacing of Buildings on Streets</u> . The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related. <i>The new fence will not disrupt the existing rhythm of Endicott or Lewis Streets.</i>
		<u>N/A</u>	f. <u>Rhythm of entrance and/or porch projection</u> . The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.
		<u>X</u>	g. <u>Relationship of materials, texture and color</u> . The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related. <i>The applicant is proposing to utilize wrought iron for the material which is not prevalent in the San Antonio Street Historic District. However, wrought iron is a common fencing material.</i>

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



FENCE			
Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	h. <u>Roof shapes.</u> The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.
		<u>N/A</u>	i. <u>Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.
		<u>N/A</u>	j. <u>Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.
<p><i>See Attached Historic District Guidelines (if necessary)</i> <i>See Secretary of the Interior Standards Analysis Below</i></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><i>See attached Sections C.3.2.4 and C.3.4.2, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></p>

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



FENCE

Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <i>The property will continue to be utilized as a single-family residence.</i>
<u>X</u>			2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. <i>Historic materials will not be removed. Where there are existing brick walls, the new fence will not be located on top of the wall but just on the other side of it; see site plan.</i>
		<u>N/A</u>	3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
		<u>N/A</u>	4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
		<u>N/A</u>	5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
		<u>N/A</u>	6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Certificate of Appropriateness

HPC-23-10 (802 West San Antonio Street)



FENCE

Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
		<u>X</u>	<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><i>While wrought iron is a common material for fencing within other historic districts, such as the Belvin Street Historic District, it is not prevalent in the San Antonio Street Historic District.</i></p>
<u>X</u>			<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p><i>The fence could be removed from the property without impairing the essential form and integrity of the historic property.</i></p>

TEXAS HISTORICAL COMMISSION

339

Historic Resources Survey Form

Project #: 00046

County: Hays

Address No: 802

Local Id: R28667

City: SAN MARCOS

Block: 2

Street Name: W SAN ANTONIO ST

SECTION 1

Basic Inventory Information

Current Name:

Historic Name:

Owner Information **Name:** SHROPSHIRE PAUL D

Address: 5612 SUNNY VISTA DR **City:** AUSTIN **State:** TX **Zip:** 78749

Geographic Location **Latitude:** 29.878068 **Longitude:** -97.948751 **Parcel Id** Phase 2

Legal Description (Lot\Block): ED J L GREEN LOT 7 BLK 1 GEO#33330074474

Addition/Subdivision: **Year:**

Property Type: Building **Listed NR District Name:** San Antonio Street Local Historic District

Current Designations: ☐ NR District

☐ NHL ☐ NR ☐ RTHL ☐ OTHM ☐ HTC ☐ SAL ☒ Local ☐ Other **Is property contributing?** ☒

Architect:

Builder

Construction Date: ca. 1905

Source Field survey

Recorded By: Elizabeth Porterfield/Hicks & Company

Date Recorded: 2/1/2019

Function

Current: Domestic

Historic: Domestic



SECTION 2

Architectural Description

Architecturally significant 2-story Neoclassical-style residence with original wood windows, wood siding, original front door with sidelights and transoms, and Classical columns at two-story porch; hipped roof with hipped dormers; rear two-story addition (not visible on 1944 Sanborn map [sheet 11] but appears to be of historic age); high integrity; historic-age concrete street marker located in the front yard

☒ Additions, modifications **Explain:** Two-story rear addition of apparent historic age

☐ Relocated **Explain:**

TEXAS HISTORICAL COMMISSION

339

Historic Resources Survey Form

Project #: 00046

Local Id: R28667

County: Hays

City: SAN MARCOS

Address No: 802

Street Name: W SAN ANTONIO ST

Block: 2

Stylistic Influence

Neoclassical

Structural Details

Roof Form

Hipped

Plan

Rectangular

Roof Materials

Composition Shingles

Chimneys

Wall Materials

Wood Siding

Porches/Canopies

FORM Hipped roof, Wraparound, two-story**SUPPORT** Classical columns**MATERIAL**

Windows

Wood, Double hung

Doors (Primary Entrance)

Single (original), With Sidelights, With Transom

Landscape Features

concrete street marker; detached garage in side yard

ANCILLARY BUILDINGS:

Garage: Detached garage

Barn:

Shed:

Other:

SECTION 3 Historical Information

Associated Historical Context

Architecture, Community Development

Applicable National Register (NR) Criteria:

- ☒ **A** Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ **B** Associated with the lives of persons significant in our past
- ☒ **C** Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ **D** Has yielded, or is likely to yield, information important in prehistory of history

Areas of Significance:

Significant example of early 20th cent. Neoclassical style residence and early 20th cent. neighborhood development

Periods of Significance:

ca. 1905-1975

Levels of Significance: ☐ National ☐ State ☒ Local**Integrity:** ☒ Location ☒ Design ☒ Materials ☒ Workmanship ☒ Setting ☒ Feeling ☒ Association

Integrity Notes:

Individually Eligible? Yes

Within Potential NR District?: Yes

Is Property Contributing?: ☒

Potential NR District Name: San Antonio Street Historic District

Priority High

Explain: Significant example of style; contributing to local historic district

Other Information

Is prior documentation available for this resource? Yes

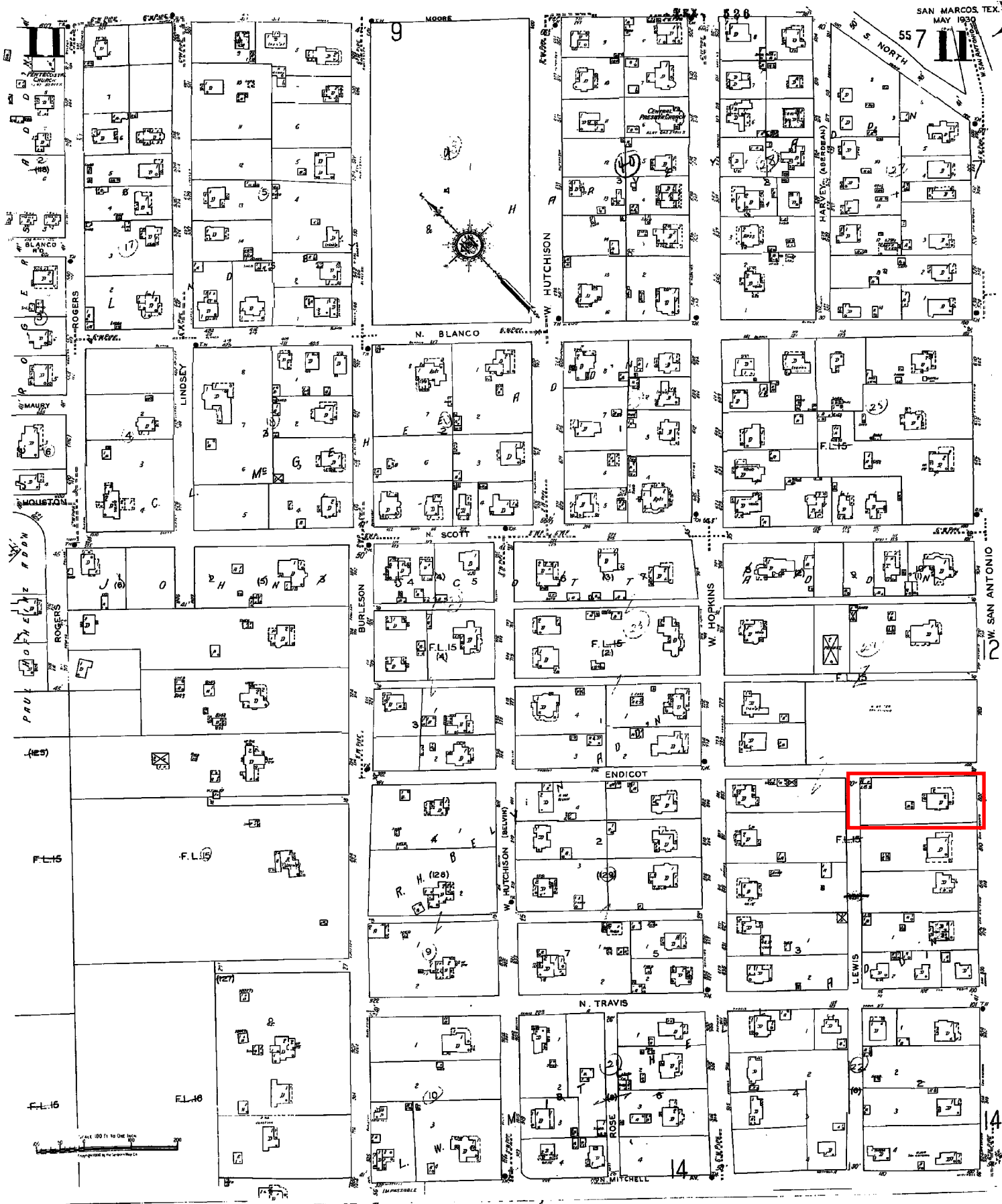
Type ☐ HABS ☐ Survey ☒ Other

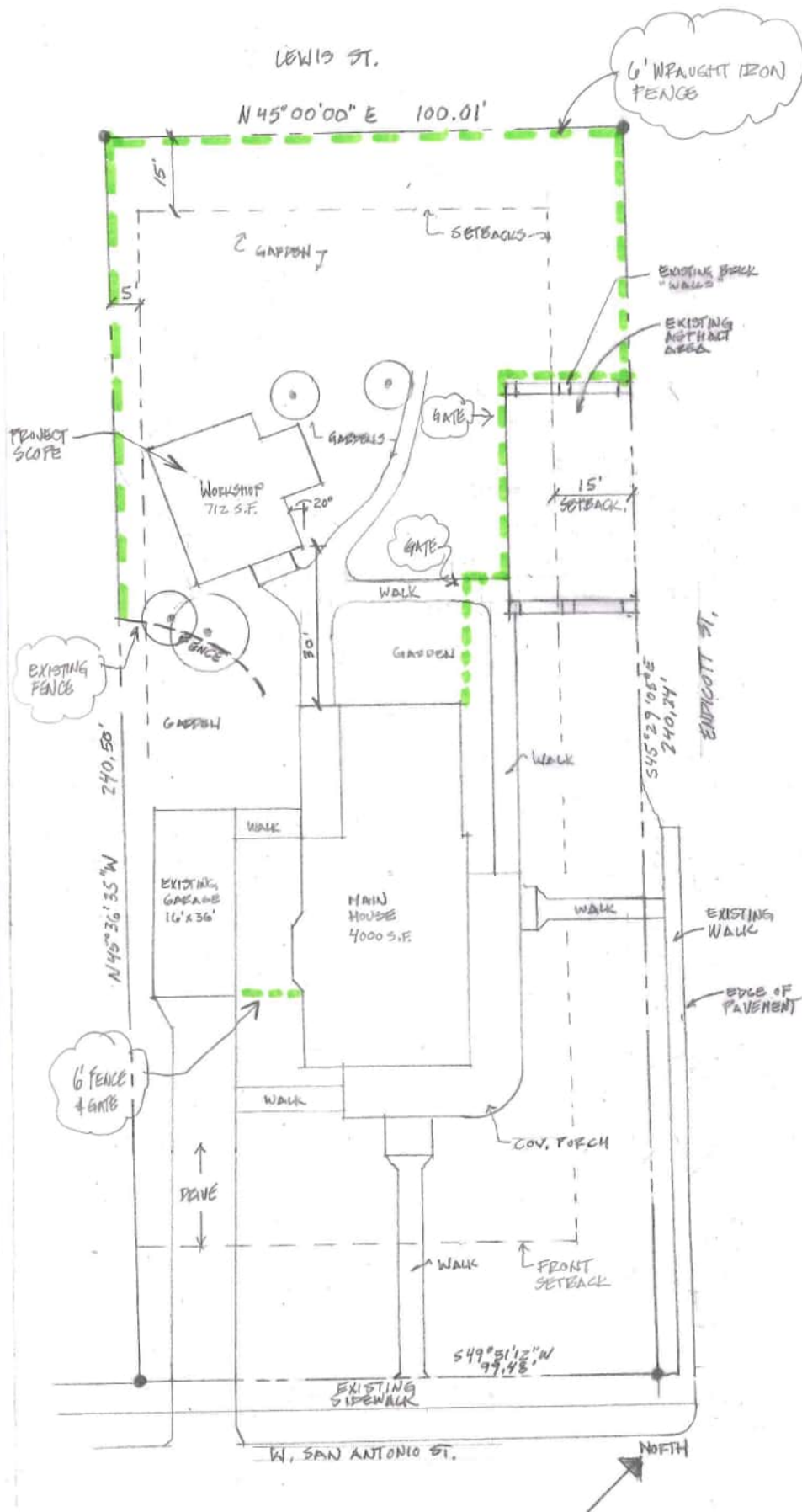
Documentation Details:

1944 Sanborn map, sheet 11

557

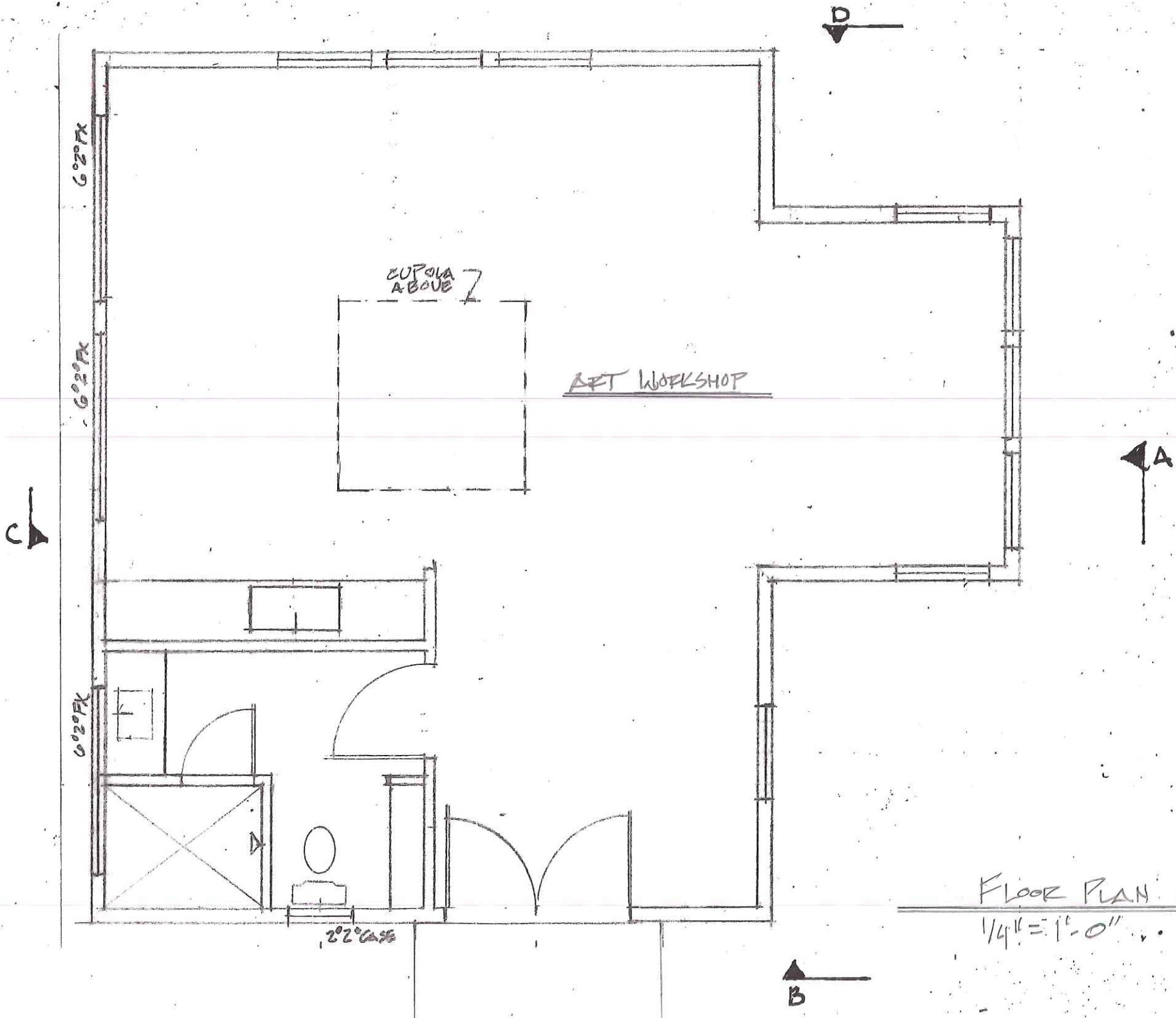
S. NORTH





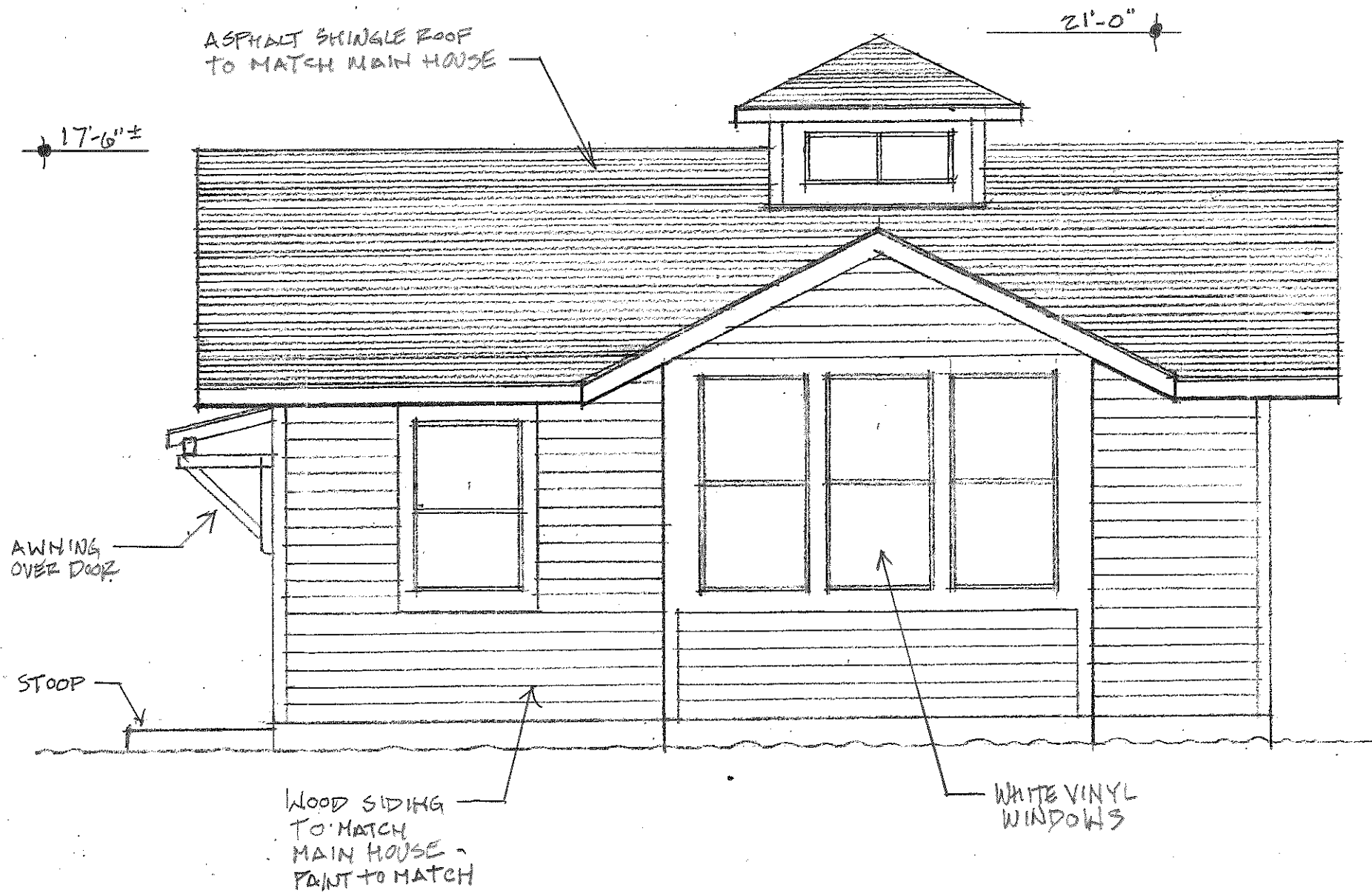
① SITE PLAN
A1 1" = 20'-0"

LOT SIZE: 24,000 S.F.
50% I. C. ALLOWED = 12,000
TOTAL I. C. = 6,757 (29%)



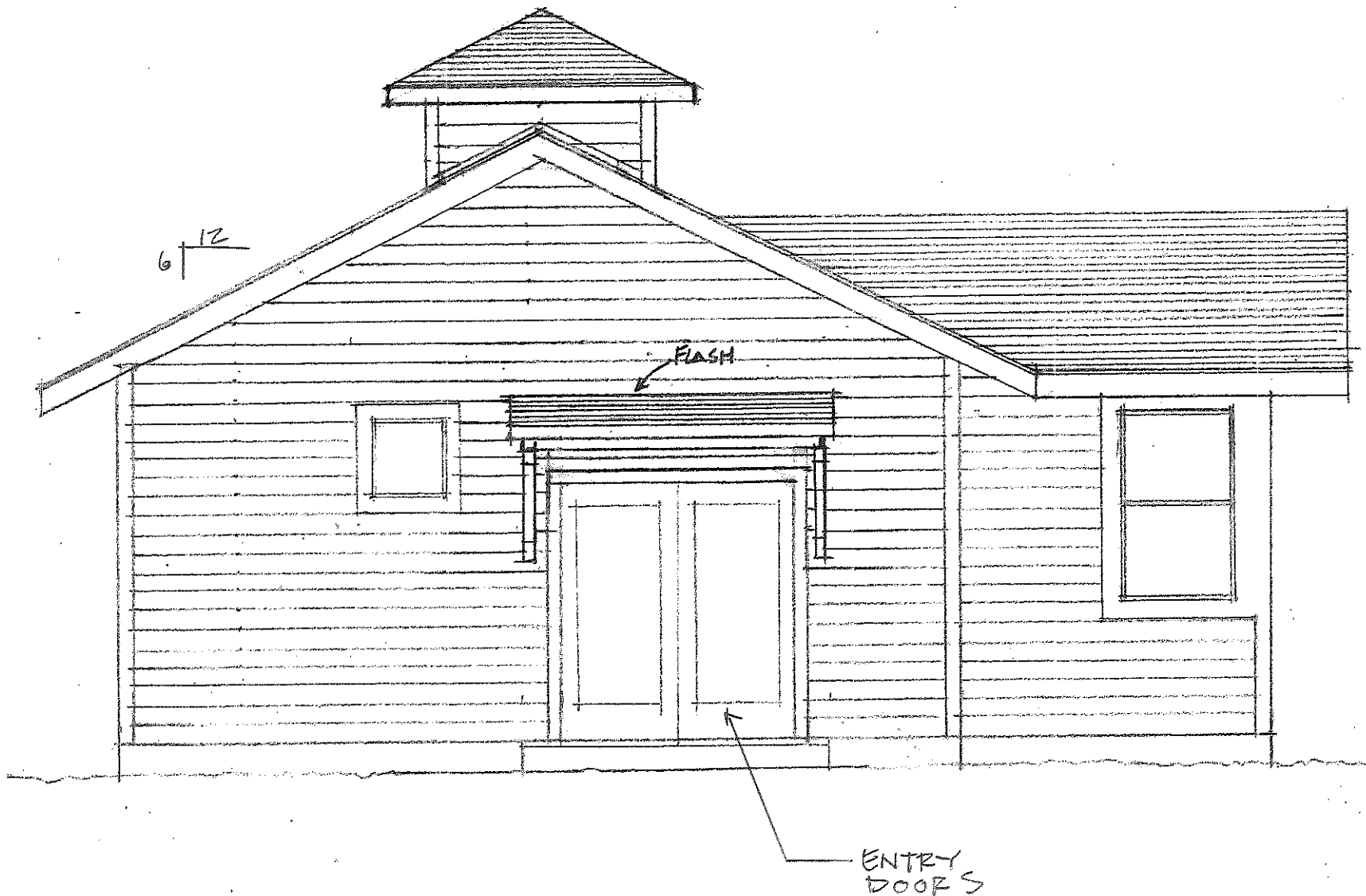
FLOOR PLAN

1/4" = 1'-0"

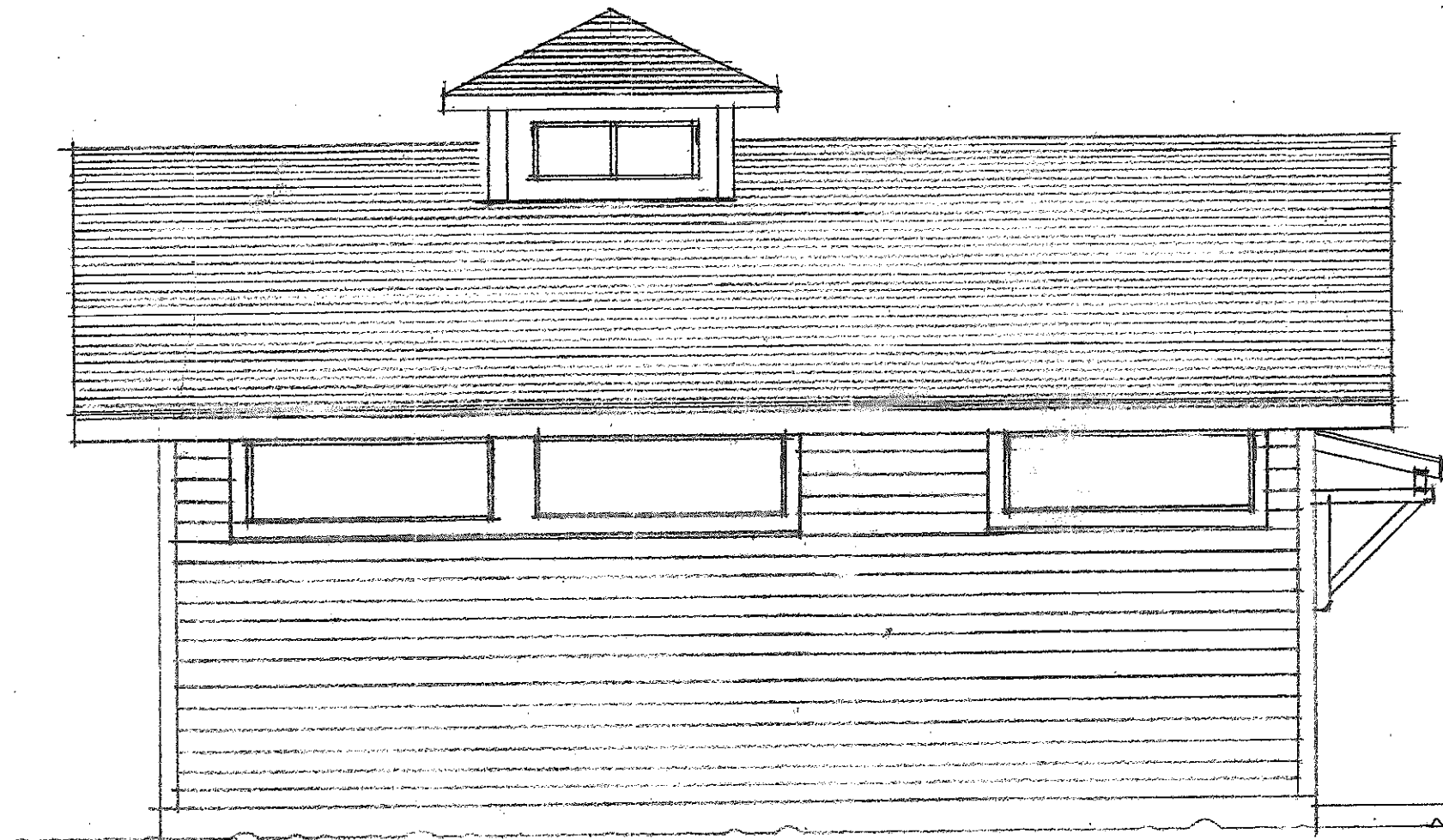


NORTH ELEVATION

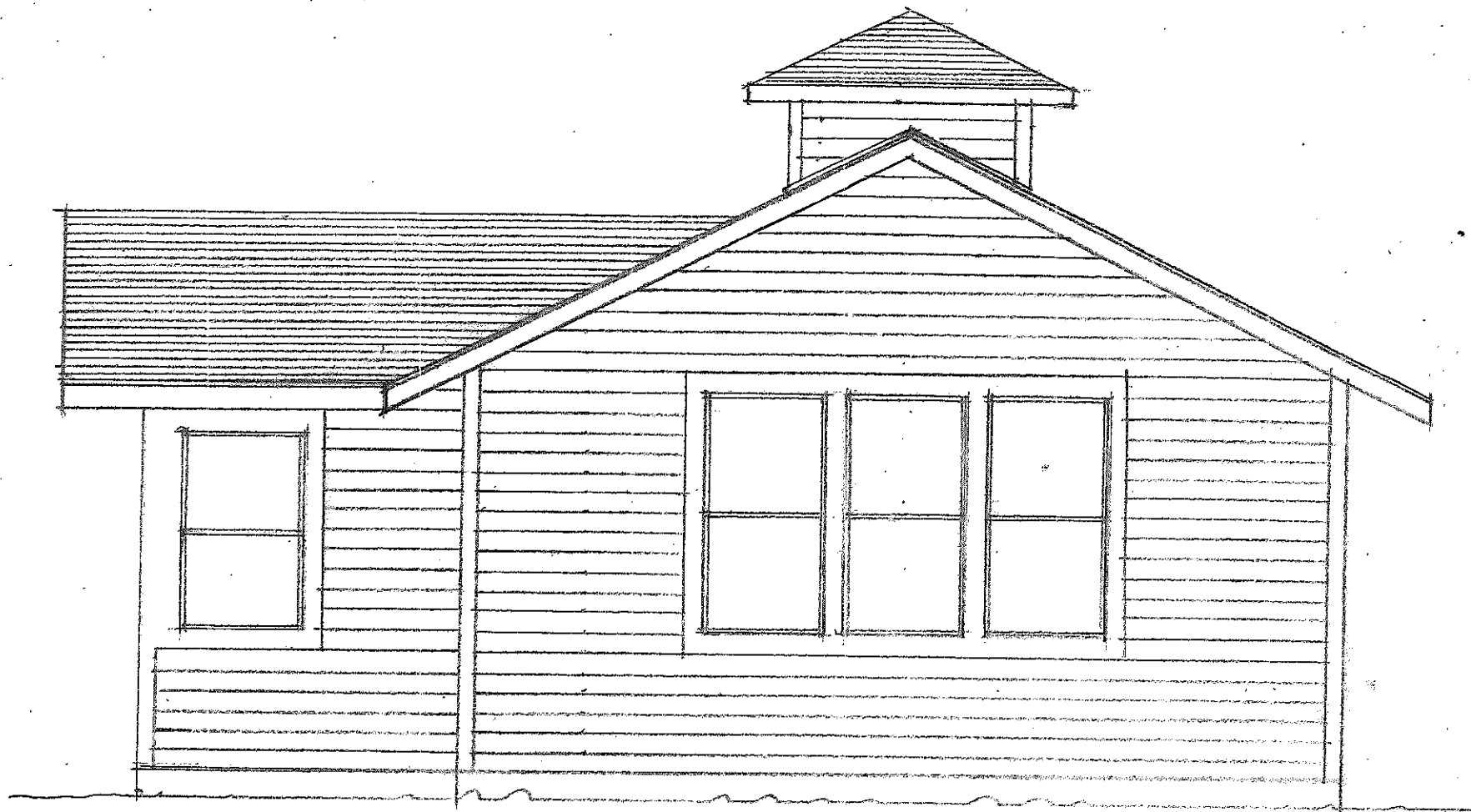
1/4" = 1'-0" (FACES ENDICOTT ST.)



(B) EAST ELEVATION
 $\frac{1}{4}'' = 1'-0''$



C SOUTH ELEVATION
1/4" = 1'-0" (NOT VISIBLE FROM STREET)



D WEST ELEVATION
 $\frac{1}{4}'' = 1'-0''$ (FACES LEWIS ST.)



FRONT VIEW



SIDE VIEW



← MAIN HOUSE

← STUDIO LOCATION



← STUDIO WILL BE
BEHIND GARAGE

WINDOW COMPARISONS

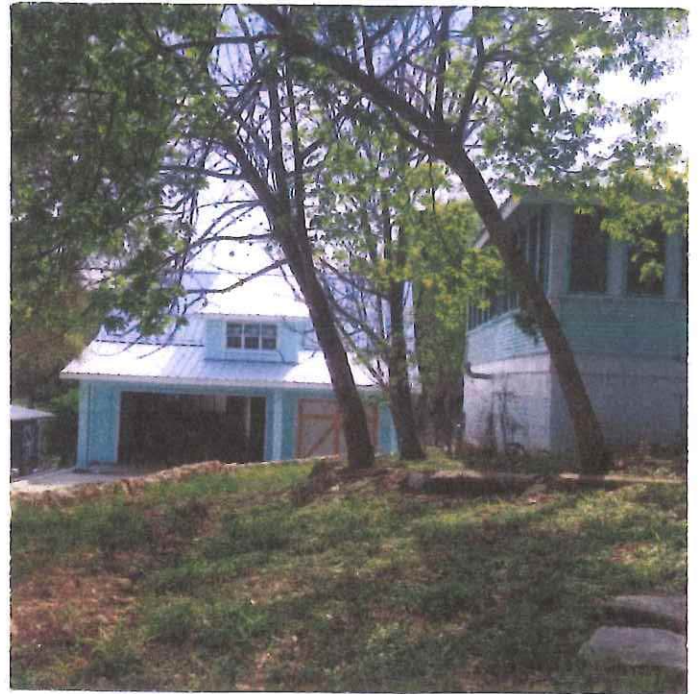
416 BLANCO ADU

- WINDOWS ARE VINYL -
- CURRENTLY UNDER CONSTRUCTION
- HPC APPROVAL IN 2022



515 SCOTT - GARAGE/STUDIO
CURRENTLY UNDER
CONSTRUCTION

- WINDOWS ARE VINYL -
- HPC APPROVAL IN 2022



719 BURLESON - ADU FOR 713 BURLESON

- WINDOWS ARE VINYL -



EXISTING FENCE @ 227 N. MITCHELL



EXISTING FENCE @ 802 BELVIN

NEW FENCE @ 802 W. SAN ANTONIO (OR SIMILAR)



Section C.1.2.3 Residential Buildings

- A.** Porches are frequently the most modified portion of a house. Returning a porch to its original design, when possible, will make a positive visual impact to the house and the neighborhood.
- B.** If a porch has been lowered, consider raising it to its original level.
- C.** If the original columns have been replaced with another material and design, consider replacing the columns with columns which are compatible with the original design and material.
- D.** If porches have been closed to provide additional space in the house, look for other locations for this space when remodeling.
- E.** If porches have been removed, consider reconstructing them.
- F.** Synthetic siding which has been applied over the original siding changes the character of the house. Consider removing the synthetic siding and restoring the original detail of the house.
- G.** When windows have been removed and placed with windows of a different material and proportion, consider replacing them with windows to match the original.

Section C.1.2.4 New Construction in Historic Districts

- 1.** As opportunities arise, new construction will take place in historic districts and this is to be encouraged in order to maintain a viable living community. However, new construction should follow the characteristics and guidelines outlined in this document.
- 2.** Respect and maintain the overall height of buildings in the immediate vicinity.
- 3.** Maintain the building relationship to the street. Set the new building back a distance equal to that of the surrounding structures and orient the new building in the same way.
- 4.** Maintain the established rhythm of the structural piers in the surrounding buildings, consider a similar rhythm, structural bay or width.
- 5.** Respect the overall proportion and form. Maintain the width to height relationship.

- 6.** Utilize floor heights common to adjacent buildings. Maintain the horizontal continuity of the elevations in commercial buildings.
- 7.** Roof forms and roof lines or cornices should be consistent in shape and detail.
- 8.** Maintain the solid-to-void pattern established in the window openings and follow the proportions established in these openings.
- 9.** Materials used in the construction of new buildings should reflect the period in which they are built but should respect the established scale of adjacent buildings.
- 10.** Construct garages and carports to the rear of the property, behind the face of the house.
- 11.** Orient garage doors away from the street when possible.
- 12.** Consider the density of a neighborhood when constructing new buildings on vacant or subdivided lots.
- 13.** Maintain the orientation of building entrances on a street.
- 14.** Construct additions to existing buildings that do not overpower the original building.
- 15.** Seek guidance and assistance early in a project. Look at options that will enhance the historic district and satisfy your needs.
- 16.** Avoid creating a false history when constructing new buildings. New buildings are new buildings and should not be confused with historic structures.

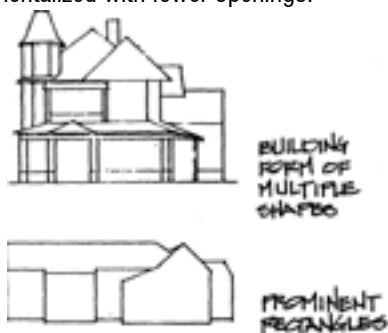
Section C.1.2.5 Priority Planning - Renovation Guidelines

- A.** Evaluate the existing structure to establish the most important work to be completed.
- B.** What may be the most visible to the eye may not be the most important to the life of the building. For example, a new coat of paint for the front of the building will not do much to extend the life of the building if the roof is leaking badly.
- C.** Identify the “character defining” features of the building and relate their importance to the character of the street as well as the building itself.

1. Unique concrete street markers located at San Antonio Street intersections designate the block number and street name.
2. The San Antonio Street Historic District has a larger collection of Craftsman and modern housing styles than the Belvin Street Historic District.
3. Many of the yards have a “curb” just inside the sidewalk which further defines the yard from the parkway.
4. There have been many alterations to the houses in the San Antonio Street Historic District.
5. The density of San Antonio Street is substantially greater than that of Belvin Street due to the lot size and development pattern.

Section C.3.2.4 Definitions of Historic District Characteristics

- A. Building Form.** Building form is primarily dictated by the style of the building. For example, Queen Anne and Victorian styles are recognizable by their compositions of multiple shapes which include bays, dramatic roof lines, dormers and porches. The Craftsman style is derived from a simplified rectilinear plan. The Neoclassical building also derived its form from a rectilinear plan but has a dominant central entry porch with columns which extend the full height of the building. The Tudor form is derived by one or more prominent cross rectangles, its building materials (principally masonry and stone) make it less compartmentalized with fewer openings.

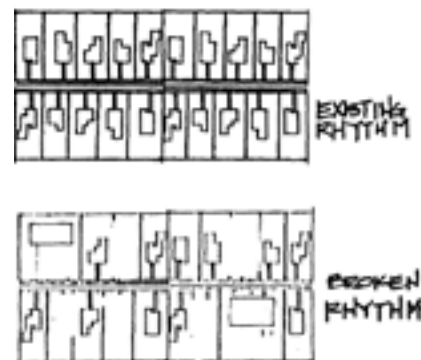


- B. Scale.** The scale of a building is measured as the relationship of building size to something else, such as a human. Windows, entrances, porches, bays and the dimension of building

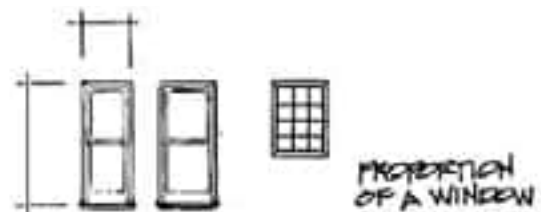
materials contribute to the overall scale of the building. The houses in these districts are one or two stories high and are considered to be “human” scale.



- C. Rhythm.** The rhythm of a street is created by the spacing between houses, the location and spacing of sidewalks from the curb to the entrances of the houses, the location and spacing of the driveway entrances to each property. The rhythm of the street adds to the visual continuity and establishes the organization and site design guidelines for a neighborhood.



- D. Proportion.** Proportion is the relationship of the dimensions of an object to itself, such as height to width. Proportion is inherent in all aspects of a building form, components and material. As an example, older homes with higher ceiling heights have windows that are taller than they are wide. This proportion is approximately 2 1/2 high to 1 wide. House styles of the 1960s to 1980s usually have lower ceiling heights so their windows are shorter and wider.



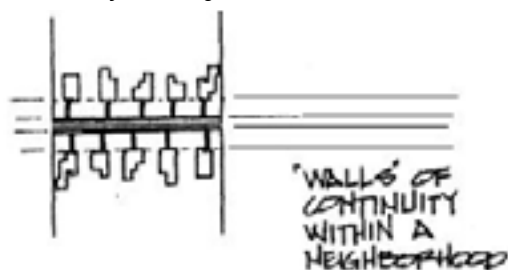
- E. The Relationship of Materials and Texture.** The materials and texture of each home is representative of the style and period of construction. The texture of a material can express mass. The

inherent properties and dimensions of construction materials like brick and wood boards help in understanding the home's size, scale and proportion. Because stucco has no dimension, it is difficult to measure its relationship to the scale of a building. Tudor houses, for example are constructed mainly of brick and stone and because of the size and texture of these materials, the houses express mass with a rustic appearance.



CONTRASTING
MATERIALS
EMPHASIZE
DETAIL

- F. Walls of Continuity.** The front of each building, its walls, its porch alignment and even fences help define a “wall” that establishes a visual pattern along the streetscape. Each neighborhood has visual continuity, starting at the street which is basically a straight line of uniform width. A curb runs along the street defining the green space of the parkway followed by the sidewalk. Each of these elements work to organize a neighborhood. These organizational elements along with orientation and placement of houses on the lot establish the visual continuity of a neighborhood.



- G.** Due to the difference in lot size between the Belvin Street and San Antonio Street Districts, the visual continuity and rhythm are different. Each neighborhood has its own established organization which should be respected.
- H.** As changes are proposed to a site or house, review the lines of continuity and rhythm established in the neighborhood. Look at the scale, form and proportions of proposed changes. Will the proposed project retain and enhance the characteristics or will it create change?

Section C.3.2.5 Site Development and Orientation

- A.** The organization pattern established in each Historic District guides the development and proposed alteration of each site. Historic neighborhoods were designed to be pedestrian friendly since walking was a major mode of transportation. Houses face the street with a logical, visible entrance and a sidewalk that leads from the street to this entrance. Sidewalks from the street to the front door help establish rhythm.
- B.** There is an established distance from the street to the house, which is called a setback. This setback reinforces the importance of the entrance and orientation of the building. Building beyond this setback would change the visual continuity established.



Concrete ribbons leading to garage behind the house (921 W San Antonio St)



Front yard fence does not obscure the house (730 Belvin St)

- C.** Driveway approaches in the front yard lead to garages and secondary outbuildings, which are located behind the main house. Contemporary style houses have incorporated their garage or carports into their house plan, but typically they do not project beyond the established front wall of the house. While the construction of new garages and carports is

Section C.3.3.5 Windows

- A.** Windows play an important role in the character definition of the houses and the overall neighborhood. The proportion, material and organization of windows in the wall help to establish a construction date of the house. The detail of the window is frequently a key characteristic in identifying an architectural style.
- B.** The majority of windows in the Belvin Street and San Antonio Street historic homes are the traditional wood, double hung, rope and pulley system. Many of the houses have a simple one over one configuration while others have multiple pieces of glass in a single window sash.
- C.** A few houses were constructed with steel casement windows, which were a modern installation in the 1930s. These windows are not known for their energy efficiency, but can be maintained and made more efficient by installing a storm window on the inside of the house.
- D.** The following guidelines are recommended:
 1. Original windows should be retained as they are a strong character defining feature on a house.
 2. It is not necessary to replace an entire window if only a portion is in need of repair. Consider replacing the deteriorated portion only. A single sash can be made to replace a deteriorated one.
 3. Proper window fit, weather stripping, new glazing compound at the glass, and sealant around window frames can improve the energy efficiency of wood windows substantially, while retaining its historical character.
 4. If windows are missing or if frames are deteriorated beyond repair, replace them with a window of the basic dimension and profile as the original.
 5. Imitation dividers or “snap-in” muntins that do not truly divide and hold pieces of glass should be avoided.
 6. Most aluminum windows are not considered an option and have not been proven to be more energy efficient than a well maintained wood window.

7. Replace original glass only when broken as the wavy quality of the historic glass adds to the character of the house. If glass is broken, attempt to replace with old wavy glass.



Tall narrow openings and glass in the sash help to establish a date of the house (716 Belvin St)



Example of different window configurations (832 Belvin St)



Window screens with detail appear on Craftsman and Prairie style houses (620 Rogers St)

remove some stains. Consult a knowledgeable contractor or the Texas Historical Commission for more information.

6. Avoid installing brick or block where these materials were not originally used.
7. Avoid installing brick on the walls of a house that originally had wood siding. To install brick over wood siding changes the character of the house and can destroy the wood beneath.



Brick with stone accents (727 W Hopkins Street)



Brick used in sidewalk (716 Belvin St)



Rough faced concrete block (1024 W San Antonio St)

Section C.3.4.2 Metal

- A. The primary use of metal on historic residential homes in San Marcos was as a roofing or roof related decoration such as cresting and weathervanes. Standing seam metal roofing, which is found on many houses in South Texas, is evident in the historic areas of San Marcos. This type of metal roof was well adapted to odd shapes or projections. Historically, metal roofs were made by folding metal sheets together creating a vertical "seam". The pans were formed from Galvanized steel sheets in a sheet metal shop and could be designed to fit roofs such as turrets. The roofer turned the seams over and the seams were then soldered to form a watertight barrier.
- B. Pressed metal shingles were manufactured and installed as a roofing material in the late 1800s, and are seen on several residential buildings. These materials were also formed from galvanized steel and were premanufactured in St. Louis, Kansas City, and other large industrial areas. Pressed metal has been installed as a skirting material on some houses, but was probably not an original material.
- C. Corrugated metal roofs were also commonly used in Texas. As in standing seam roofs their limitation was due to the fact that lengths were limited to 8 feet which caused numerous end laps, and on larger houses increased chances of roof leaks. Corrugated roofing is found on houses, garages, barns, and other outbuildings. Newer sheet metal profiles such as "V" crimp and pre-finished metal standing seam have been added to older houses as repairs are made.
- D. Ornamental iron, although used during the period on commercial structures, was not commonly used for residential construction. Cast iron is not evident in the San Marcos Historic Districts.
- E. Metal windows were used in residential applications in the 1930s, and are evident on a few houses in the historic districts.
- F. The following guidelines are recommended:
 1. Replace deteriorated metal with new primed or pre-finished metal of the same or compatible material. Pressed metal shingles are still manufactured and can be replaced in localized areas as needed.
 2. Re-install decorative roof details, such as cresting, when replacing the primary roofing material.

3. Avoid installing an inappropriately scaled metal roofing material on a house that did not have a metal roof originally. Many of the current metal roofs have an industrial appearance and should be avoided.
4. Fabricated metal should not replace other materials such as wood columns.
5. Metal windows should not replace wood windows.
6. Avoid installing decorative metal iron work over windows that did not include them in the original design.
7. Avoid installing a pressed metal skirt where one did not previously exist.



One of many standing seam metal roofs in San Marcos (221 Johnson Ave)

1. Replace deteriorated stone with stone that matches the original in color and texture.
2. If a wall has deteriorated or is missing mortar it should be replaced with mortar of the same composition as the original in composition and color. Portland cement, or masons mortar is too hard and will cause the stone to deteriorate and crumble.
3. It is not recommended that stone be added to the foundation or face of a house because this changes the original integrity of the house.
4. Retain stone walls and drainage beds.
5. Use stone as a site design material such as walks, walls and planter beds.



Historic application with stone exterior (809 Belvin St)

Section C.3.4.3 Stone

- A. Stone is used most commonly in the two historic residential districts of San Marcos as a material for foundations and retaining walls. The stone was cut from locally quarried limestone block and was used in conjunction with a soft, lime mortar because of its natural softness. Field stone or rubble stone (stone not cut into a rectangular shape) was used in the construction of walls or curbs in front of houses. This stone, even though a harder consistency, was held together with a lime mortar. Similar stone was also used in the drainage beds of the water runoff systems in the area. Stone was not used as a veneer material or skin of the houses in the Belvin Street or San Antonio Street Historical Districts. However, several newer houses in the San Antonio Street Historical District are clad in various types and patterns of stone. In these two districts, only one historic home still in existence, had been constructed with stone as the primary exterior material.
- B. The following guidelines are recommended:

Section C.3.4.4 Stucco

- A. Stucco, also called cement plaster, is a hardened cementitious paste which is applied over a wire mesh or lath. It creates an exterior wall surface which can be made smooth or can have a sculpted texture. Stucco has no dimension or shape of its own but can be used to form many shapes.
- B. The historic districts of San Marcos have only a few stucco houses. This would have been a building material of the 1920's and 1930's and appears on Tudor style houses and as detail treatment on a few other examples. Small cracks are an

Sue K. Cohen

743 W. San Antonio St.
San Marcos, Texas 78666
512-757-2377
suekcohen@gmail.com

April 25, 2023

Dear Historic Preservation Commission Members,

I am writing you to ask that you vote to approve HPC-23-01 for the workshop/studio addition at 802 W. San Antonio without further delay.

Stephanie and Paul Shropshire are excellent stewards of this beautiful historic home. They have recently completed an extensive interior remodel. They have invested a considerable amount in the preservation of this beautiful historic property. They are great neighbors and understand the responsibilities of homeownership on San Antonio Street. They have excellent taste and this studio addition will enhance the value of this and surrounding properties. They have contractors lined up and ready to go. Further delays add to the cost of the project and take away resources that would be spent on enhancement of the property.

Thank you in advance for approving this project without additional delay.

Thank you for your time and service to the City of San Marcos.

Sue K. Cohen

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: August, 2022



CONTACT INFORMATION

Applicant's Name	MICHAEL WILLS	Property Owner	STEPHANIE RUBIANO SHROPSHIRE
Company	MICHAEL WILLS - ARCHITECT	Company	-
Applicant's Mailing Address	801 COLUMBIA SAN MARCOS, TX 78666	Owner's Mailing Address	802 W, SAN ANTONIO ST. SAN MARCOS, TX 78666
Applicant's Phone #	512 665 3991	Owner's Phone #	512 618 2910
Applicant's Email	mikewillsarchitect@gmail.com	Owner's Email	admin@studiorubianoworks.com

PROPERTY INFORMATION

Address of Proposed Work: 802 WEST SAN ANTONIO STREET
 Historic District: SAN ANTONIO STREET Tax ID #: R
 Legal Description: Lot _____ Block _____ Subdivision _____
 Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (Use additional pages if necessary.)

ADD 712 SQUARE FOOT WORKSHOP/ART STUDIO IN THE BACKYARD.
 (MAIN HOUSE IS 4000 S.F.) ADD WRAUGHT IRON FENCE AS SHOWN
 ON SITE PLAN.

AUTHORIZATION

Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.

I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.

Filing Fee \$0

Technology Fee \$13

TOTAL COST \$13

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

APPLY ONLINE – WWW.MYGOVERNMENTONLINE.ORG/

PROPERTY OWNER AUTHORIZATION

1. STEPHANIE RUBIANO SHROPSHIRE (owner name) on behalf of

_____ (company, if applicable) acknowledge that I/we
am/are the rightful owner of the property located at _____

802 WEST SAN ANTONIO ST, (address).

I hereby authorize MICHAEL WILKS (agent name) on behalf of

MICHAEL WILUS - ARCHITECT (agent company) to file this application for

C of A (application type), and, if necessary, to work with the Responsible Official / Department on my behalf throughout the process.

Signature of Owner:

Date: 12-7-22

Printed Name, Title:

Printed Name, Title: STEPHANIE RUSIANO SHROPSHIRE

Signature of Agent:

Date: 12-7-22

Printed Name, Title:

Printed Name, Title: MICHAEL WILLS · ARCHITECT

Form Updated October, 2019

AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.

Signature: 

Date: 12-7-22

Print Name: STEPHANIE RUBIANO SHROPSHIRE

Form Updated October, 2019

HPC-23-10

Change in Approved Design – Windows

Staff finds request consistent with the following:

- **Sections 4.5.2.1(I)(1)(c), 4.5.2.1(I)(1)(d), and 4.5.2.1(I)(1)(g):** San Marcos Development Code
- **Standards 1, 2, 9, and 10:** Secretary of the Interior Standards for Rehabilitation

HPC-23-10

Fence

Staff finds request consistent with the following:

- **Section 4.5.2.1(I)(1)(e):** San Marcos Development Code
- **Standards 1, 2, and 10:** Secretary of the Interior Standards for Rehabilitation

Staff finds request neutral against the following:

- **Section 4.5.2.1(I)(1)(g):** San Marcos Development Code
- **Standard 9:** Secretary of the Interior Standards for Rehabilitation



MEMO

TO: San Marcos Historic Preservation Commission
FROM: Alison Brake, Historic Preservation Officer
DATE: April 18, 2023
RE: Item 9: Workshop/Meeting to Discuss Historic Landmark Naming & Renaming Process

Over the past months, the Commission has discussed drafting requirements for renaming local historic landmarks, specifically, those owned by the city; eight of the nine local historic landmarks are owned by the city. Currently, only one landmark is privately owned.

Both city-owned and privately-owned properties could be designated as local landmarks which would follow the designation process outlined in Chapter 2, Article 5, Division 4 of the Development Code. As a reminder, designation as a landmark does not officially name the structure or site, and any naming or renaming would have no bearing on the continuing status as a landmark. When a local landmark is designated, staff updates the Development Code with a future round of Code edits to reflect the name. While there are City policies in place regarding naming city parks and facilities, there is no formal process to rename a landmark.

The Commission last discussed the potential process of renaming historic landmarks in January. It was during this meeting that the Commission discussed addressing this topic as a priority issue within the future preservation plan. The Commission agreed to hold a meeting or workshop where the entire Commission could meet to discuss the potential process and criteria to be better prepared to hand the consultants a proposed naming process when the time comes. The Commission also agreed to wait to host the meeting or workshop until after the new Commissioners were appointed.

While there has been a recent vacancy on the Commission, staff believes that the best opportunity to discuss the potential process would be during the June regular meeting (June 1) as no Certificate of Appropriateness applications have been received. If the Commission meets and discusses City business, the meeting must be a public meeting posted in accordance with the Texas Open Meetings Act. Background information on this item will be included with that packet.